

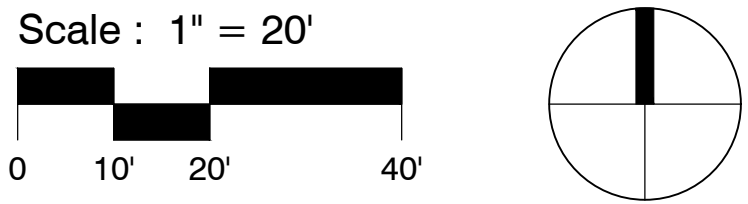
DRIVE-THRU COFFEE SHOP
CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAEFER AVE
CHINO, CA 91710

DATE: 03/28/2025
MCG JOB #: 24.179.05

DATE	REVISIONS

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PROJECT DIRECTORY

APPLICANT: **STARBUCKS**
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
Tel. No.: (714) 477-2816

ARCHITECT: **MCG ARCHITECTURE**
1501 WEST FOUNTAINHEAD PARKWAY, SUITE 321
TEMPE, AZ 85282
Tel. No.: (602) 813-0778
Contact: JORGE CALDERON
E-Mail: JCALDERON@MCGARCHITECTURE.COM

SITE DATA

A.P.N. NO.: 1020-571-12-0-000
EXISTING ZONING: CENTRAL AVENUE SPECIFIC PLAN (CS)

GENERAL PLAN LAND
USE DESIGNATION: GENERAL COMMERCIAL

EXISTING DEVELOPMENT: VACANT LOT

SITE AREA:
GROSS: 0.86 ACRES (37,461.6 S.F.)
NET (-MINUS RIGHT-OF-WAY
DEDICATIONS): 0.84 ACRES (36,721 S.F.)

LOT COVERAGE
(MAX ALLOWABLE 45%): 6.2% PROVIDED

LANDSCAPE COVERAGE:
(MINIMUM: 10%): 22.9% PROVIDED

FLOOR AREA RATIO:
(ALLOWABLE 0.6): .06 PROVIDED

IMPERVIOUS AREA RATIO: .76 PROVIDED

PROPOSED USE: RESTAURANT (DRIVE-THRU)

CONSTRUCTION TYPE: V-B

OCCUPANCY: B

BUILDING AREA: 2,262 SF

PARKING REQUIRED: 10 SPACES
1 SPACE FOR EACH 100 S.F. PUBLIC SEATING AREA. MINIMUM
OF 10 SPACES SHALL BE PROVIDED. (476 SF INDOOR, 200 SF
OUTDOOR). A QUEING LANE SUFFICIENT IN LENGTH TO
ACCOMMODATE 5 VEHICLES AT THE POINT OF FOOD
ORDERING SHALL BE PROVIDED.

PARKING PROVIDED: 22 SPACES

ACCESSIBLE SPACES REQUIRED: 1 SPACE
ACCESSIBLE SPACES PROVIDED: 3 SPACE

BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 2 SPACES

LEGEND:
 LANDSCAPED AREA
 ADA ACCESS PATH

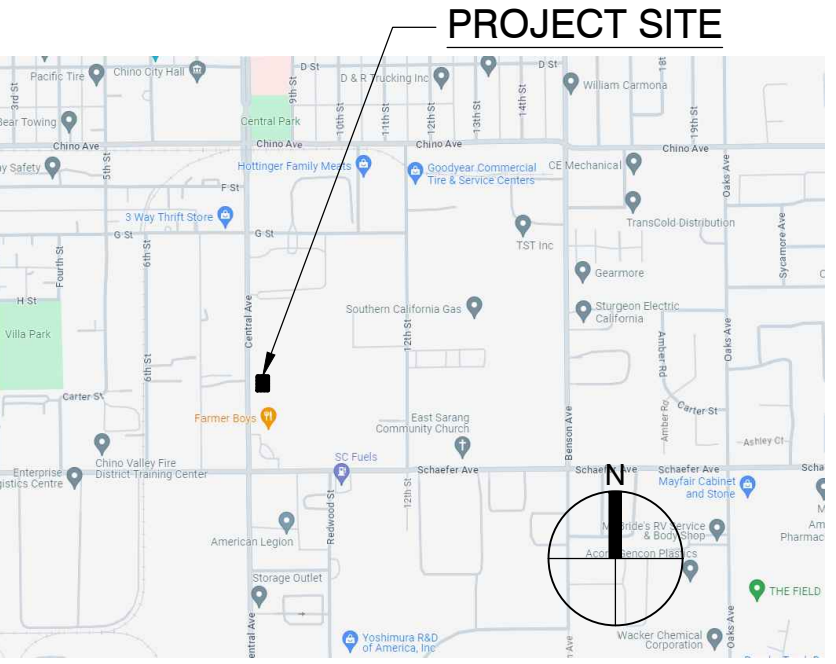
PROJECT SCOPE OF WORK:
PROPOSED NEW DEVELOPMENT OF A 2,262 SF SINGLE STORY
DRIVE-THRU COFFEE SHOP RESTAURANT AND NEW TRASH
ENCLOSURE.

LEGAL DESCRIPTION:
PARCEL 6 OF PARCEL MAP NO. 14905, IN THE CITY OF CHINO,
COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS
SHOWN ON A MAP RECORDED IN BOOK 190, PAGES 40
THROUGH 43, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF
THE COUNTY RECORDER OF SAID COUNTY.

KETNOTES

1. A/C PAVED SURFACE
2. CONCRETE DRIVE-THRU LANE
3. ACCESSIBLE PARKING STALL AND RAMP
4. ACCESSIBLE SIGNAGE
5. WAYFINDING GRAPHIC
6. DRIVE-THROUGH LANE CLEARANCE BAR
7. DIRECTIONAL SIGNAGE, LEFT TURN ONLY
8. PRE-ORDER MENU BOARD
9. DIGITAL MENU / ORDER BOARD
10. 5 PANEL MENU BOARD
11. PAVEMENT MARKING
12. TRASH ENCLOSURE
13. CONCRETE SIDEWALK
14. BICYCLE PARKING
15. NEW TRANSFORMER, FINAL LOCATION TO BE
COORDINATED WITH UTILITY COMPANY
16. EXISTING TREE PROTECT IN PLACE

VICINITY MAP



SHEET TITLE:

SITE PLAN

SHEET NUMBER:

SP-1

PROJECT DIRECTORY

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SEATTLE, WA 98134
Tel. No.: (714) 477-2816

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PROJECT SCOPE OF WORK:
PROPOSED NEW DEVELOPMENT OF A 2,262 SF SINGLE STORY
DRIVE-THRU COFFEE SHOP RESTAURANT AND NEW TRASH
ENCLOSURE.

MATERIALS & COLORS

- A

CORRUGATED METAL DOORS
COLOR TO MATCH RAL7016 "ANTHRACITE GREY"
- B

8" X 8" X 16" CMU
MFR ANGELUS
COLOR TO MATCH RAL7016 "ANTHRACITE GREY"
FINISH SPLIT FACE
- C

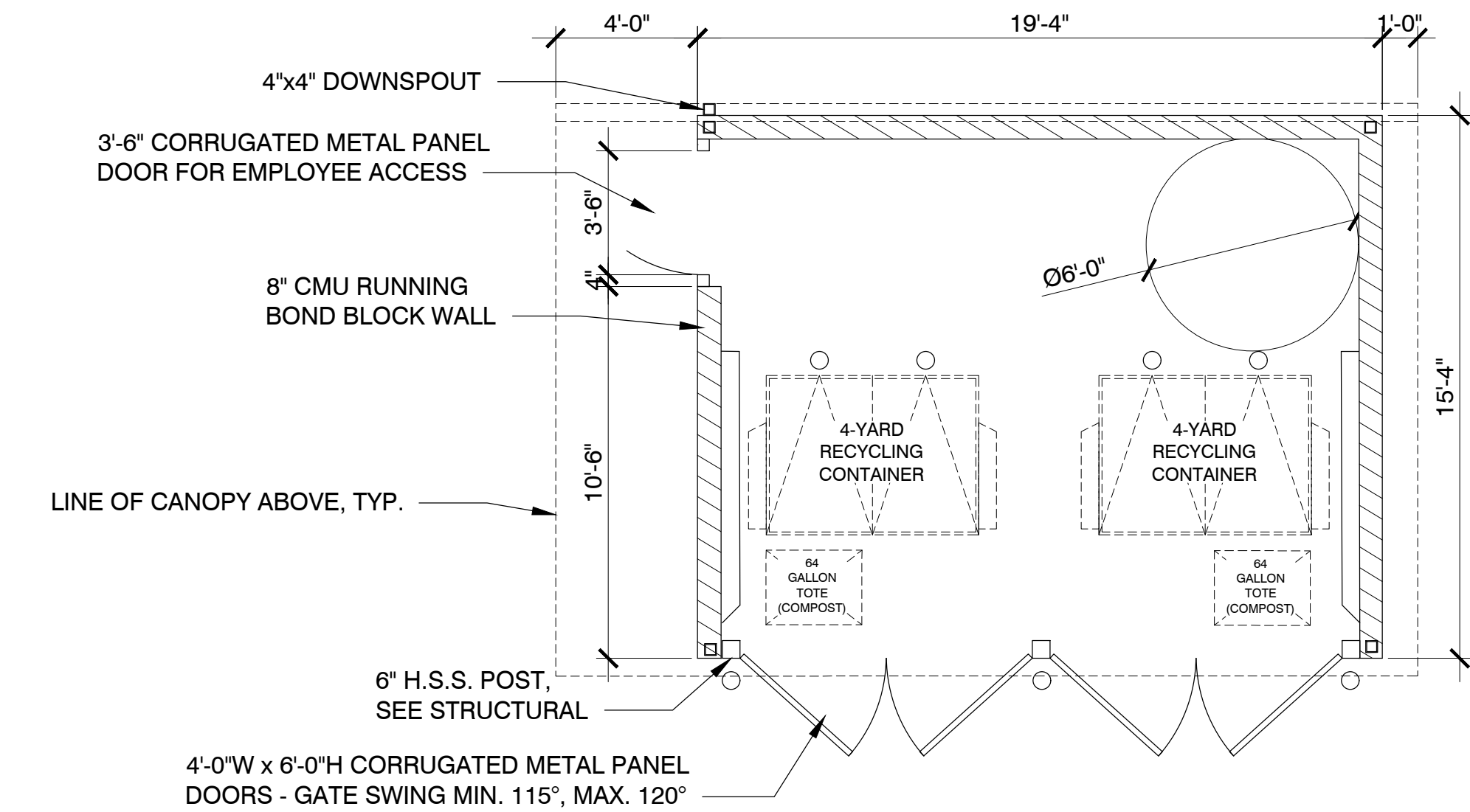
6" GALVANIZED STEEL SQ. TUBE
COLOR TO MATCH RAL7016 "ANTHRACITE GREY"
- D

METAL ROOF
COLOR TO MATCH RAL7016 "ANTHRACITE GREY"
- E

DECORATIVE METAL LATTICE
COLOR TO MATCH RAL7016 "ANTHRACITE GREY"

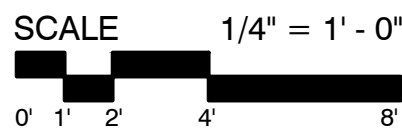
KEYNOTES

- ① BOLLARD, PAINT YELLOW.

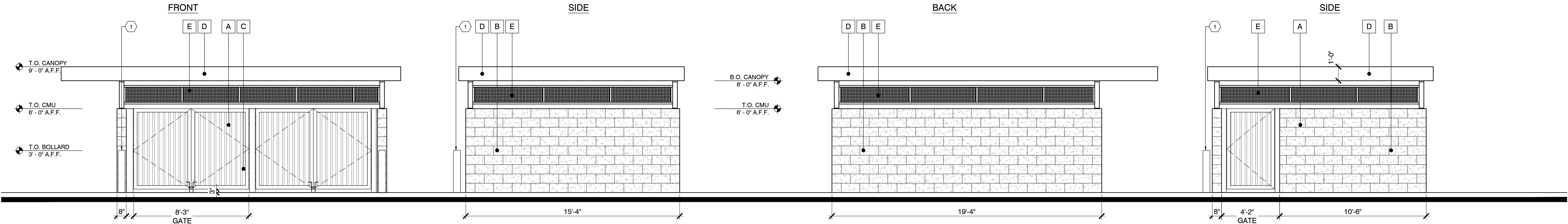
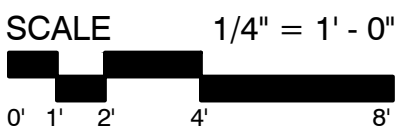


TRASH ENCLOSURE
PLAN

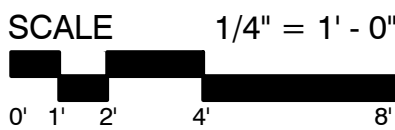
TRASH ENCLOSURE
ROOF PLAN



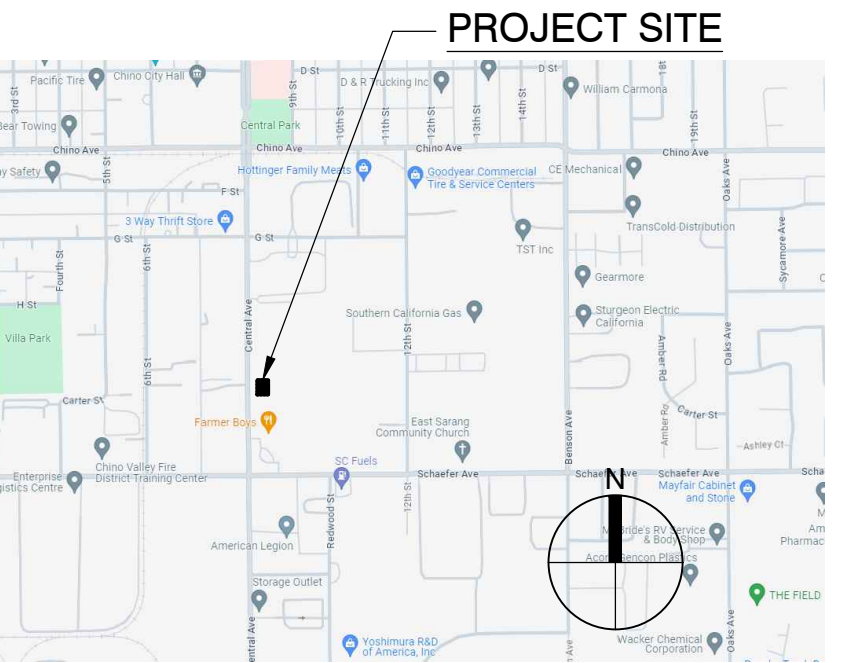
BICYCLE RACK
DETAILS



TRASH ENCLOSURE
ELEVATIONS



VICINITY MAP



DRIVE-THRU COFFEE SHOP
CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAEFER AVE
CHINO, CA 91710

DATE: 10/30/2024
MCG JOB #: 24.179.05

DATE	REVISIONS

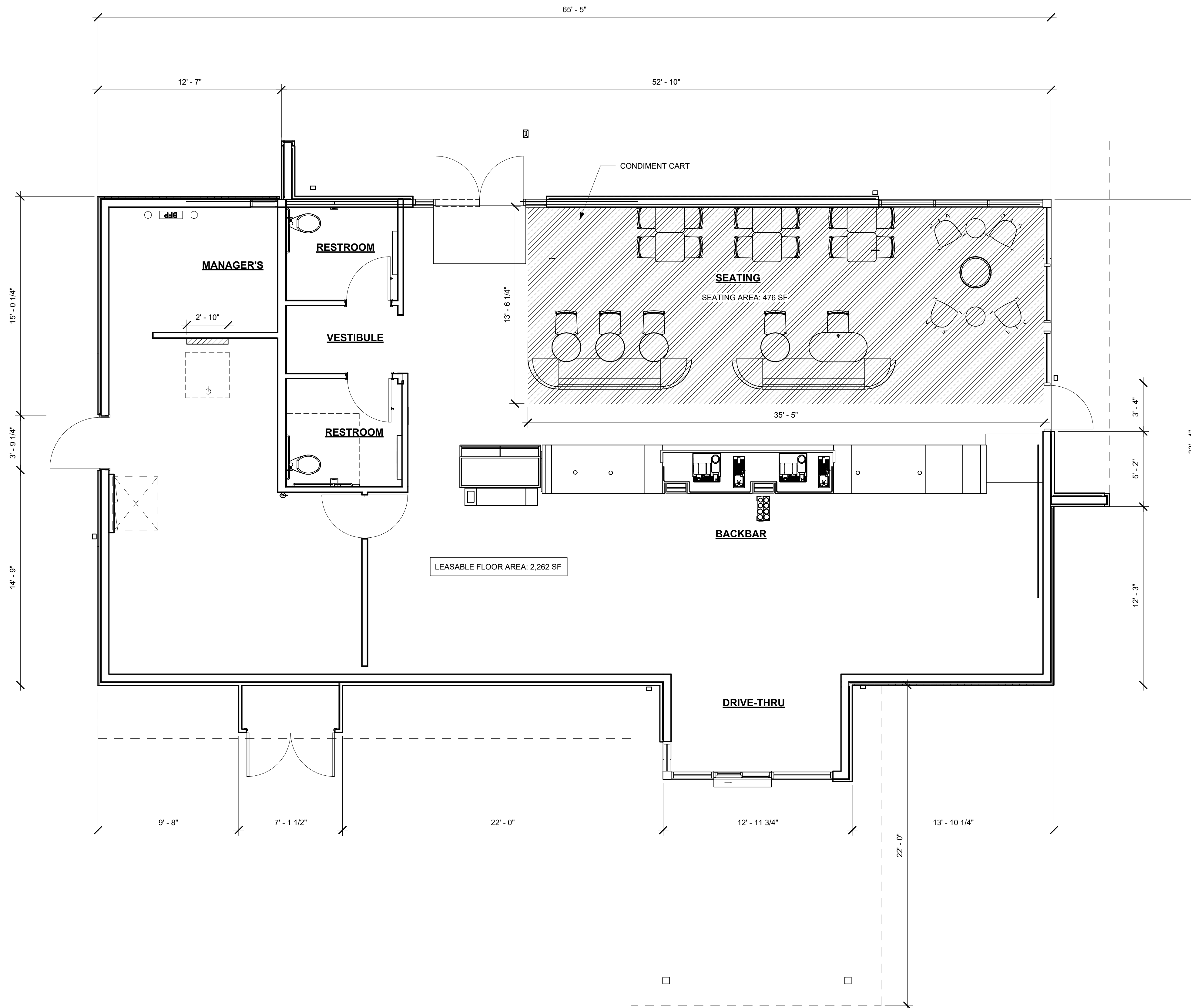
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SHEET TITLE:
SITE DETAILS

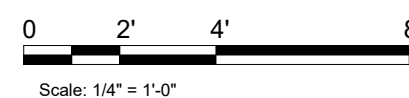
SHEET NUMBER:

D-1



1 FLOOR PLAN

Scale: 1/4" = 1'-0"



DRIVE-THRU COFFEE SHOP
CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAFER AVE
CHINO, CA 91710

DATE: 10/30/2024
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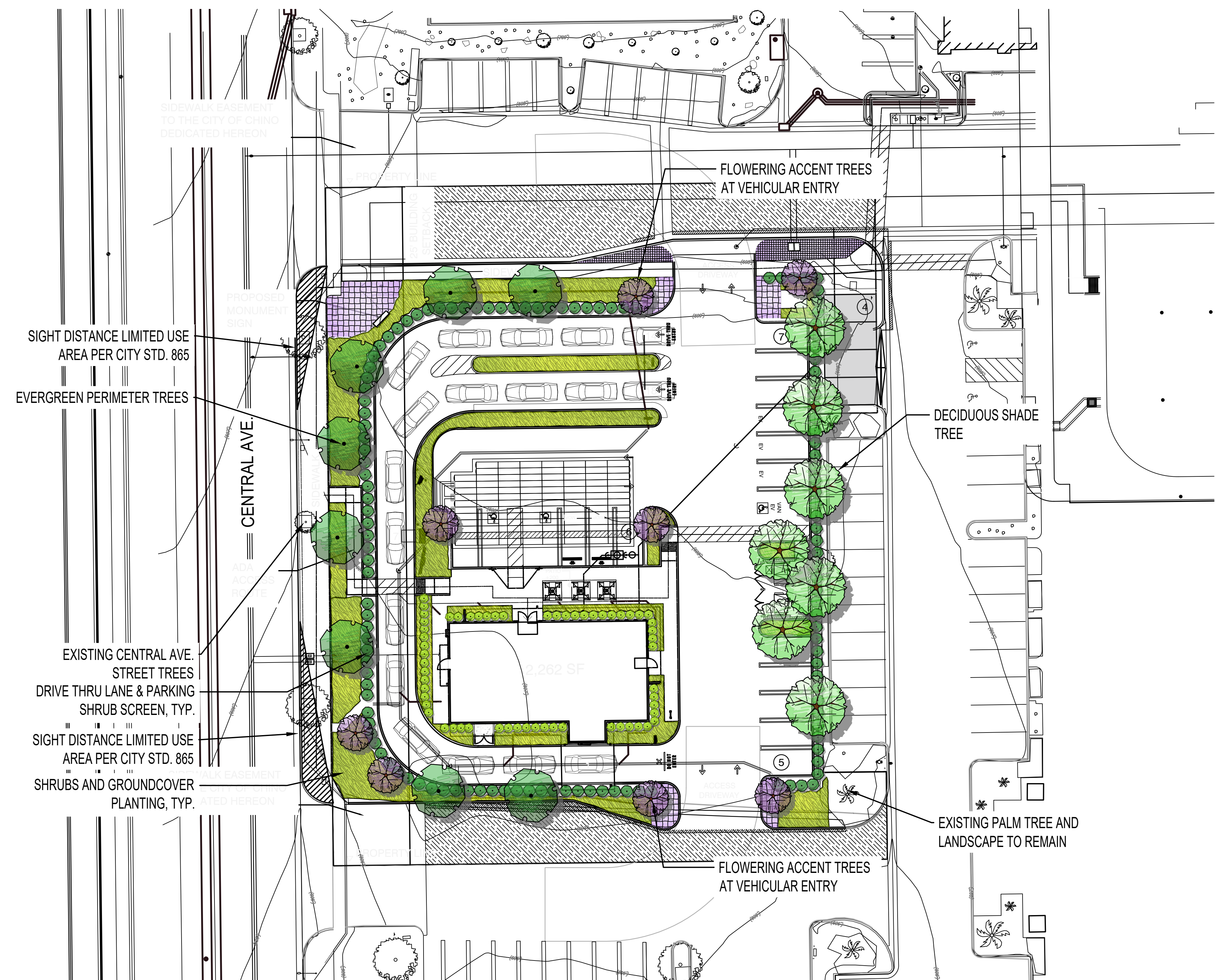
DATE:	REVISIONS

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SHEET TITLE: SCHEMATIC FLOOR
PLAN
SHEET NUMBER:

SD-1



CONCEPT PLANT SCHEDULE

	DECIDUOUS FLOWERING TREE LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE	8	36" BOX, M
	EVERGREEN PERIMETER TREE 24" BOX MIN. CERCIDIUM X 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE	8	24" BOX, L
	DECIDUOUS SHADE TREE PLATANUS X ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANE TREE	7	15 GAL, M
	4' SCREEN HEDGE SHRUBS PROVIDE SPACE FOR PLANTS TO GROW TO MATURITY AND KEEP THEIR NATURAL SHAPE CISTUS X PURPUREUS / ORCHID ROCKROSE ELAEAGNUS PUNGENS / THORNY ELEAGNUS HETEROMELES ARBUTIFOLIA / TOYON WESTRINGIA FRUTICOSA 'WYNABBIE GEM' / WYNABBIE GEM COAST ROSEMARY	129	5 GAL, L 5 GAL, L 15 GAL, L 5 GAL, L
	FOUNDATION SHRUBS AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE DIANELLA CAERULEA 'DBB03' TM / CASSA BLUE FLAX LILY DIETES IRIDIOIDES / FORTNIGHT LILY NANDINA DOMESTICA 'GULF STREAM' TM / HEAVENLY BAMBOO RHAPHIOLEPIS INDICA 'BALLERINA' / BALLERINA INDIAN HAWTHORN ROSA X 'ICEBERG' / ICEBERG FLORIBUNDA ROSE	60	5 GAL, L 5 GAL, L 5 GAL, L 5 GAL, L 5 GAL, L 5 GAL, M
	SHRUBS & GROUNDCOVERS ALOE STRIATA / CORAL ALOE CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH LANTANA X 'NEW GOLD' / NEW GOLD LANTANA MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY SALVIA GREGGII 'RED' / AUTUMN SAGE ACHILLEA MILLEFOLIUM 'MOONSHINE' / YARROW	4,226 SF	5 GAL, L 5 GAL, L 1 GAL, L 1 GAL, L 1 GAL, L 1 GAL, L 1 GAL, L
	DROUGHT TOLERANT GROUNDCOVER PLANT HEIGHT TO BE LIMITED TO 24" HIGH MAX. ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW OENOTHERA SPECIOSA 'SISKIYOU' / MEXICAN EVENING PRIMROSE	954 SF	1 GAL, L 1 GAL, L

TOTAL SITE AREA:
0.86 ACRES @ 20 TREES PER ACRE (17) TREES REQUIRED
(23) TREES PROVIDED.
(8) TREES 36" BOX 34%
(8) TREES 24" BOX 34%
(7) TREES 15 GAL. 30%

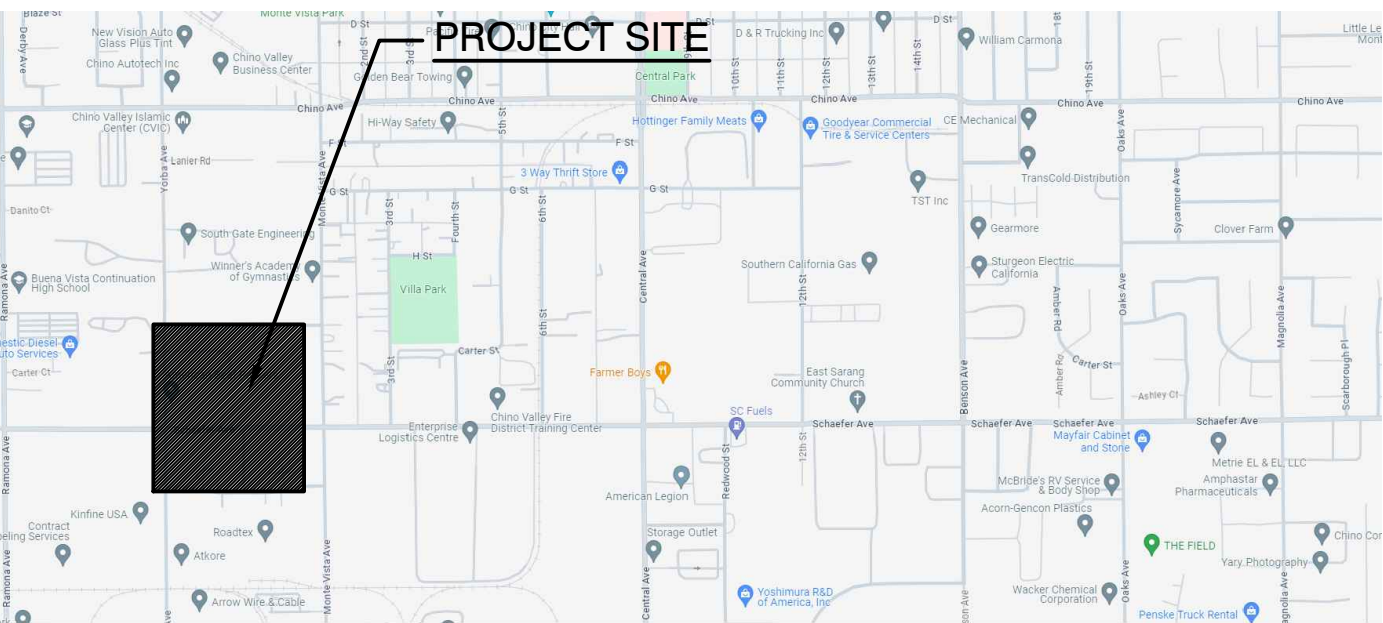
PRELIMINARY WATER USE CALCULATIONS:

M.A.W.A. = 54.6) (0.62) [(0.45 x 9,131)] = 139,096 gal / yr.

E.T.W.U. = (54.6) (0.62) [(0.3 x 9,131)] 114,487 gal / yr.
0.81

IRRIGATION SYSTEM DESIGN STATEMENT:

A PERMANENT AUTOMATIC SUB-SURFACE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO IRRIGATE ALL PLANTING AREAS. THE IRRIGATION CONTROLLER(S) SHALL BE EQUIPPED FROM THE MANUFACTURER WITH WEATHER/EVAPOTRANSPIRATION (ET) SENSING CAPABILITIES TO AUTOMATICALLY ADJUST WATERING SCHEDULES AND AMOUNTS. THE DESIGN OF THE IRRIGATION SYSTEM SHALL EMPHASIZE WATER CONSERVATION AND PROVIDE EFFICIENT AND UNIFORM DISTRIBUTION OF IRRIGATION WATER. DRIP AND/OR BUBBLER IRRIGATION, OR OTHER LOW-VOLUME, LOW-PRESSURE MICRO-IRRIGATION- SYSTEM PER CITY OF CHINO ZONING CODE 20.15 AND SHALL BE INSTALLED IN PLANTER AREAS TO PROVIDE WATER DIRECTLY TO THE ROOT ZONE OF PLANTS.



"I HAVE COMPLIED WITH THE CRITERIA OF THE CITY OF CHINO WATER EFFICIENT LANDSCAPE ORDINANCE (CHINO MUNICIPAL CODE 2015-008) AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

Timothy F. Davis
SIGNATURE

3353
LICENDSE NO.

TREES WITHIN 6 FEET OF HARDSCAPE SHALL BE INSTALLED WITH APPROVED ROOT CONTROL BARRIER (16 FEET LENGTH TOTAL MIN. EACH TREE)

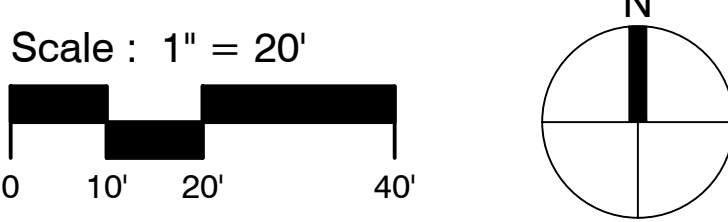
ALL GROUND-MOUNTED ELECTRICAL/MECHANICAL EQUIPMENT SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING

DATE: 03/28/2025
MCG JOB #: 24,179.01

DATE	REVISIONS

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Conceptual Landscape Plan



DRIVE-THRU COFFEE SHOP
CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAEFER AVE
CHINO, CA 91710

Wda! Wilson Davis Associates
Landscape Architecture
2825 Litchfield Dr.
Riverside, CA 92503
Ph.(951) 353-2436



VICINITY MAP

SHEET TITLE: CONCEPTUAL LANDSCAPE PLAN

SHEET NUMBER: L1.0



ELEAGNUS PUNGENS
THORNY ELEAGNUS



LANTANA 'NEW GOLD'
NEW GOLD LANTANA



MUHLENBERGIA CAPILLARIS 'PINK CLOUD'
PINK CLOUD MUHLY GRASS



ALOE STRIATA
CORAL ALOE



WESTRENGIA FRUITICOSA
COAST ROSEMARY



CISTUS PURPUREUS -
PURPLE ROCKROSE



ROSMARINUS OFFICIANALIS 'PROSTRATUS'
DWARF ROSEMARY



MYOPORUM PARVIFOLIUM
TRAILING MYOPRUM



OENOTHERA SPECIOSA
MEXICAN EVENING PRIMROSE



PLATANUS ACERIFOLIA 'BLOODGOOD'
LONDON PLANE TREE
(MATCHES EXISTING PARKING LOT ISLAND TREES)



LAGERSTROEMIA INDICA FAUER! 'NATCHEZ'
WHITE CREPE MYRTLE



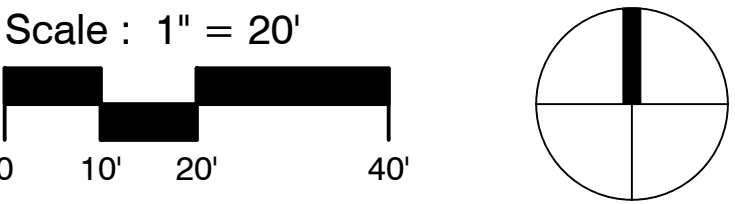
CERCIDIUM X 'DESERT MUSEUM'
'DESERT MUSEUM' PALO VERDE

DATE: 11/08/2024
MCG JOB #: 24.179.01

DATE	REVISIONS

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Conceptual Landscape Plan



DRIVE-THRU COFFEE SHOP
CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAEFER AVE
CHINO, CA 91710

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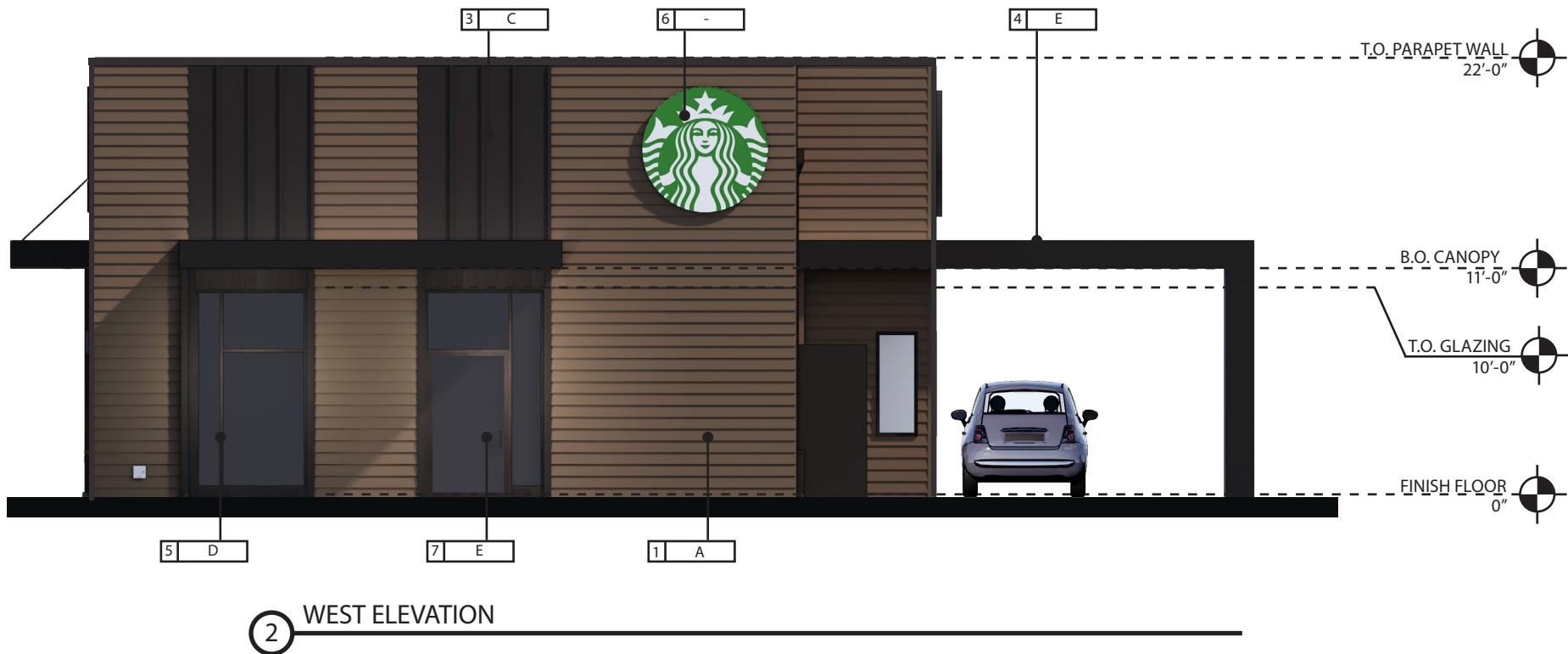
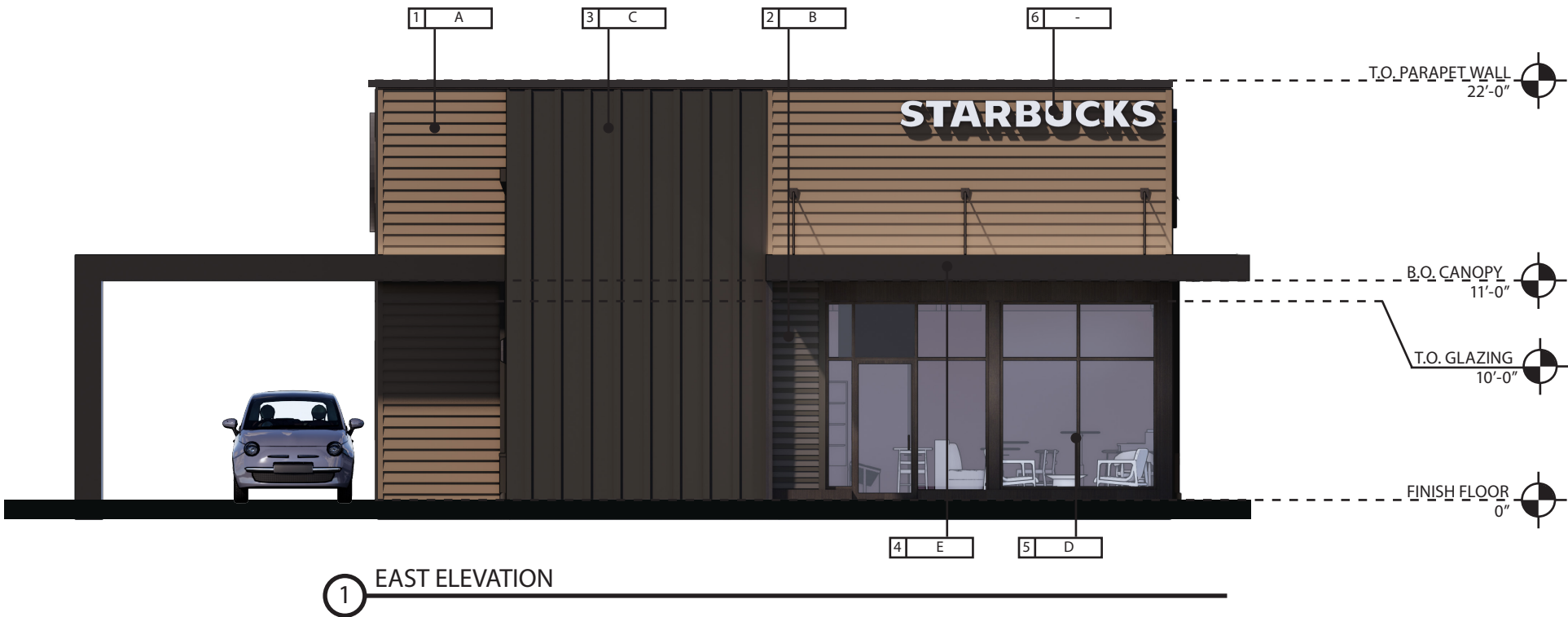
mcg architecture.com
CLEVELAND
DENVER
GLENORA
IRVINE
ORLANDO
PHOENIX
SAN FRANCISCO

VICINITY MAP

SHEET TITLE:
CONCEPTUAL
LANDSCAPE PLAN

SHEET NUMBER:

L1.1



DRIVE-THRU COFFEE SHOP CENTRAL AVE & SCHAEFER AVE

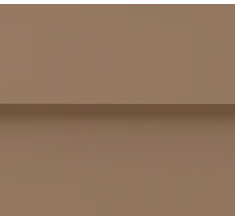
CENTRAL AVE & SCHAEFER AVE
CHINO, CA 91710

MATERIALS LEGEND:

MATERIALS:

1. HARDIE LAP SIDING - TO MATCH SW6102 PORTABELLO
2. HARDIE LAP SIDING - TO MATCH SW7020 BLACK FOX
3. HARDIE BOARD & BAT SIDING - TO MATCH SW7020 BLACK FOX
4. METAL CANOPY - TO MATCH SW7020 BLACK FOX
5. ALUMINUM STOREFRONT
6. BUILDING SIGNAGE
7. OPAQUE WINDOW FILM - COLOR TO MATCH SW7020 BLACK FOX

COLORS:



A. FIBER CEMENT PLANK
MANUFACTURER: JAMES HARDIE
PRODUCT: HARDIE PLANK
PRIMED FOR PAINT
COLOR: MATCH TO SW6102 PORTABELLO



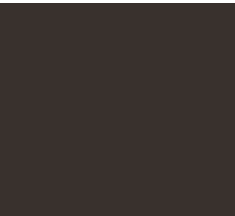
B. FIBER CEMENT PLANK
MANUFACTURER: JAMES HARDIE
PRODUCT: HARDIE PLANK
PRIMED FOR PAINT
COLOR: MATCH TO SW7020 BLACK FOX



C. BOARD & BAT SIDING
MANUFACTURER: JAMES HARDIE
PRODUCT: SIERRA 8 HARDIE PANEL
PRIMED FOR PAINT
COLOR: MATCH TO SW7020 BLACK FOX



D. STOREFRONT
MANUFACTURER: KAWNEER
PRODUCT: TRIFAB VERSAGLAZE 451/451T
COLOR: #29 BLACK ANODIZED



E. PAINT TO MATCH
COLOR: MATCH SW7020 BLACK FOX



1 NORTH ELEVATION



2 SOUTH ELEVATION

DRIVE-THRU COFFEE SHOP CENTRAL AVE & SCHAEFER AVE

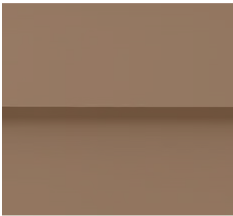
CENTRAL AVE & SCHAEFER AVE
CHINO, CA 91710

MATERIALS LEGEND:

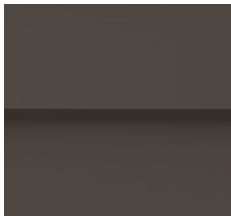
MATERIALS:

1. HARDIE LAP SIDING - TO MATCH SW6102 PORTABELLO
2. HARDIE LAP SIDING - TO MATCH SW7020 BLACK FOX
3. HARDIE BOARD & BAT SIDING - TO MATCH SW7020 BLACK FOX
4. METAL CANOPY - TO MATCH SW7020 BLACK FOX
5. ALUMINUM STOREFRONT
6. BUILDING SIGNAGE
7. OPAQUE WINDOW FILM - COLOR TO MATCH SW6102 PORTABELLO

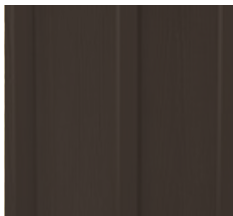
COLORS:



A. FIBER CEMENT PLANK
MANUFACTURER: JAMES HARDIE
PRODUCT: HARDIE PLANK
PRIMED FOR PAINT
COLOR: MATCH TO SW6102 PORTABELLO



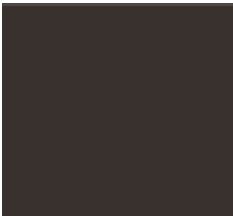
B. FIBER CEMENT PLANK
MANUFACTURER: JAMES HARDIE
PRODUCT: HARDIE PLANK
PRIMED FOR PAINT
COLOR: MATCH TO SW7020 BLACK FOX



C. BOARD & BAT SIDING
MANUFACTURER: JAMES HARDIE
PRODUCT: SIERRA 8 HARDIE PANEL
PRIMED FOR PAINT
COLOR: MATCH TO SW7020 BLACK FOX



D. STOREFRONT
MANUFACTURER: KAWNEER
PRODUCT: TRIFAB VERSAGLAZE 451/451T
COLOR: #29 BLACK ANODIZED



E. PAINT TO MATCH
COLOR: MATCH SW7020 BLACK FOX

SHEET TITLE:

EXTERIOR ELEVATIONS

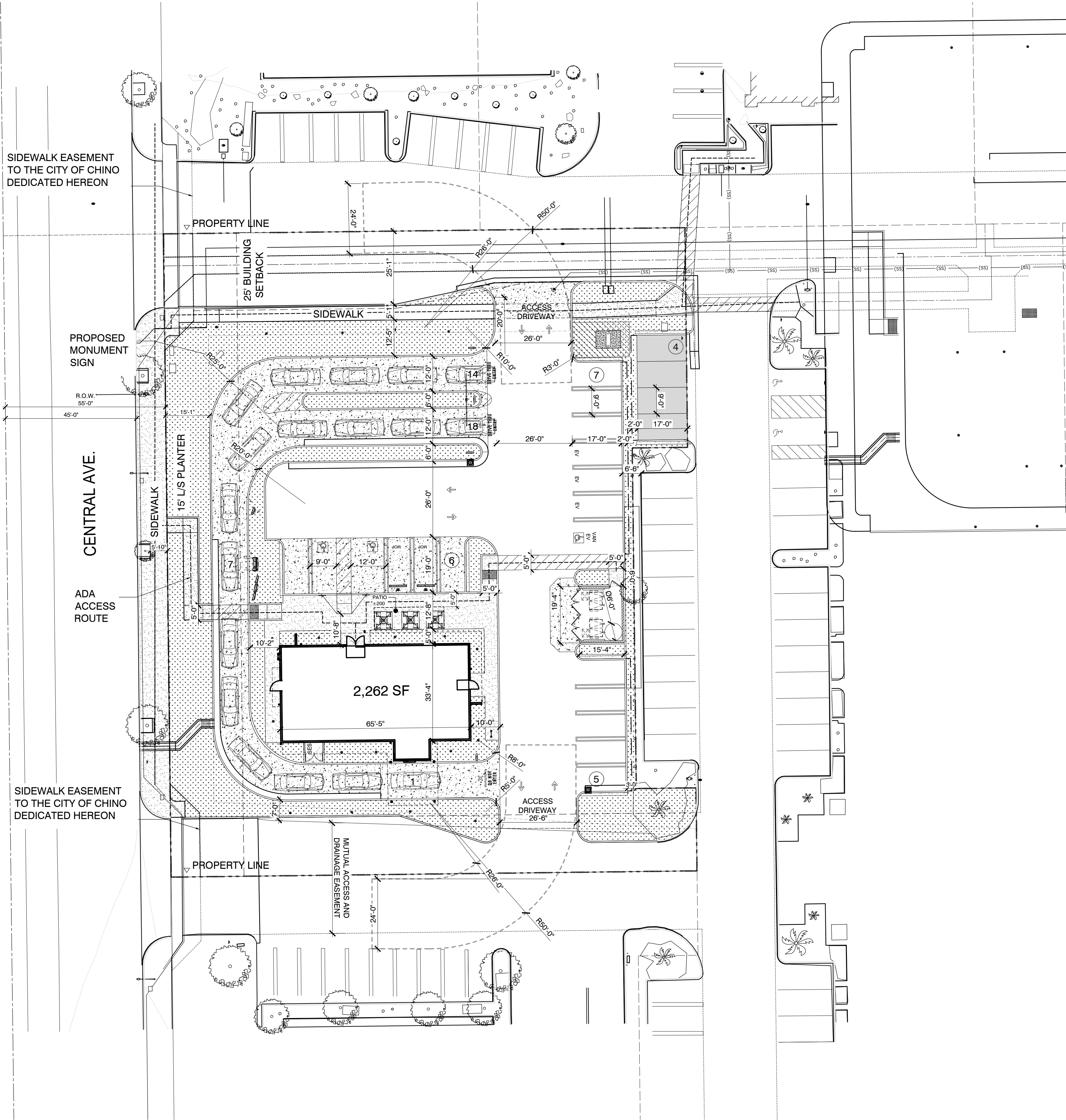
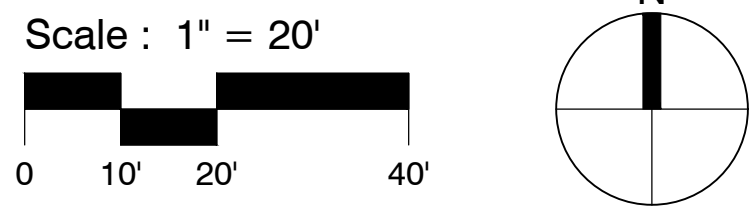
SHEET NUMBER:

EL-2

DATE: 03/28/2025
MCG JOB #: 24.179.05

DATE	REVISIONS

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DRIVE-THRU COFFEE SHOP CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAEFER AVE
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PROJECT DIRECTORY

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Contact: JORGE CALDERON
E-Mail: JCALDERON@MCGARCHITECTURE.COM

SITE DATA

A.P.N. NO.: 1020-571-12-0-000
EXISTING ZONING: CENTRAL AVENUE SPECIFIC PLAN (CS)

GENERAL PLAN LAND
USE DESIGNATION: GENERAL COMMERCIAL

EXISTING DEVELOPMENT: VACANT LOT

SITE AREA:
GROSS: 0.86 ACRES (37,461.6 S.F.)
NET (-MINUS RIGHT-OF-WAY DEDICATIONS): 0.84 ACRES (36,721 S.F.)

LOT COVERAGE (MAX ALLOWABLE 45%): 6.2% PROVIDED

LANDSCAPE COVERAGE: (MINIMUM: 10%): 22.9% PROVIDED

FLOOR AREA RATIO: (ALLOWABLE 0.6): .06 PROVIDED

IMPERVIOUS AREA RATIO: .76 PROVIDED

PROPOSED USE: RESTAURANT (DRIVE-THRU)

CONSTRUCTION TYPE: V-B

OCCUPANCY: B

BUILDING AREA: 2,262 SF

PARKING REQUIRED: 10 SPACES
1 SPACE FOR EACH 100 S.F. PUBLIC SEATING AREA. MINIMUM OF 10 SPACES SHALL BE PROVIDED. (476 SF INDOOR, 200 SF OUTDOOR). A QUEING LANE SUFFICIENT IN LENGTH TO ACCOMMODATE 5 VEHICLES AT THE POINT OF FOOD ORDERING SHALL BE PROVIDED.

PARKING PROVIDED: 22 SPACES

ACCESSIBLE SPACES REQUIRED: 1 SPACE
ACCESSIBLE SPACES PROVIDED: 3 SPACE

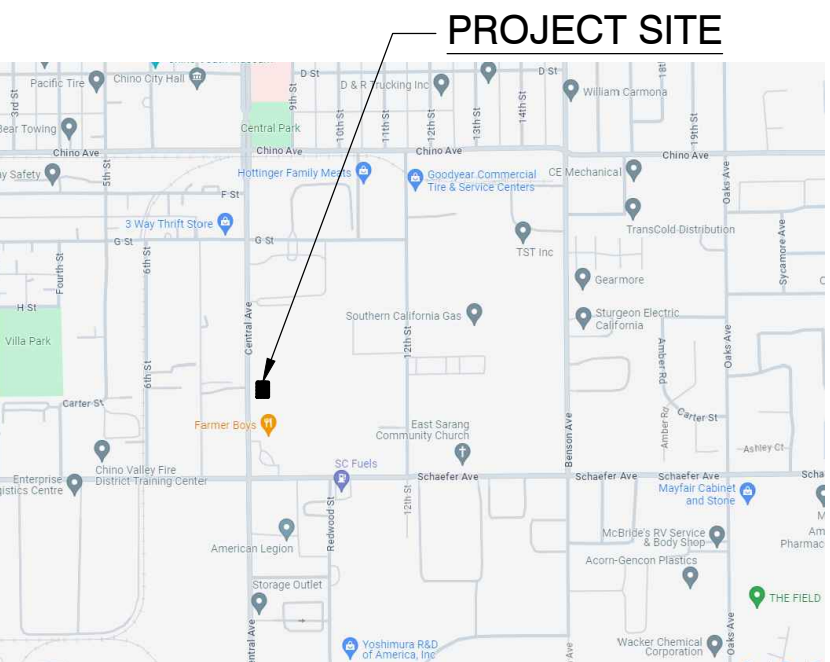
BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 2 SPACES

LEGEND:
LANDSCAPED AREA
ADA ACCESS PATH

PROJECT SCOPE OF WORK:
PROPOSED NEW DEVELOPMENT OF A 2,262 SF SINGLE STORY DRIVE-THRU COFFEE SHOP RESTAURANT AND NEW TRASH ENCLOSURE.

LEGAL DESCRIPTION:
PARCEL 6 OF PARCEL MAP NO. 14905, IN THE CITY OF CHINO, COUNTY OF SAN BERNADINO, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 190, PAGES 40 THROUGH 43, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

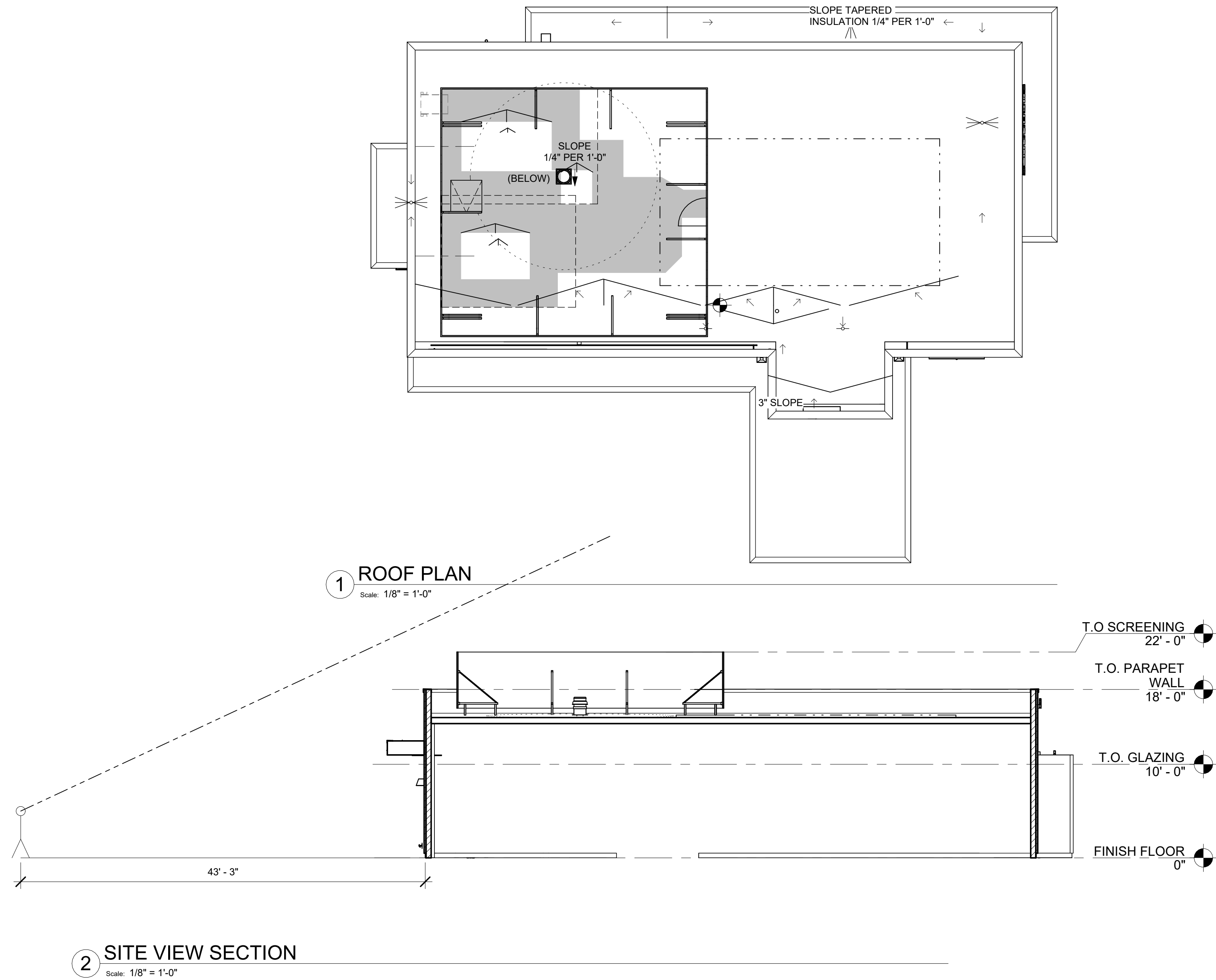
VICINITY MAP



SHEET TITLE: **PEDESTRIAN
ACCESS PLAN**

SHEET NUMBER:

PA-1



DRIVE-THRU COFFEE SHOP
CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAFER AVE
CHINO, CA 91710

DATE: 10/30/2024
MCG JOB #: 24.179.05

DATE:	REVISIONS

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SHEET TITLE:
LINE OF SIGHT VIEW

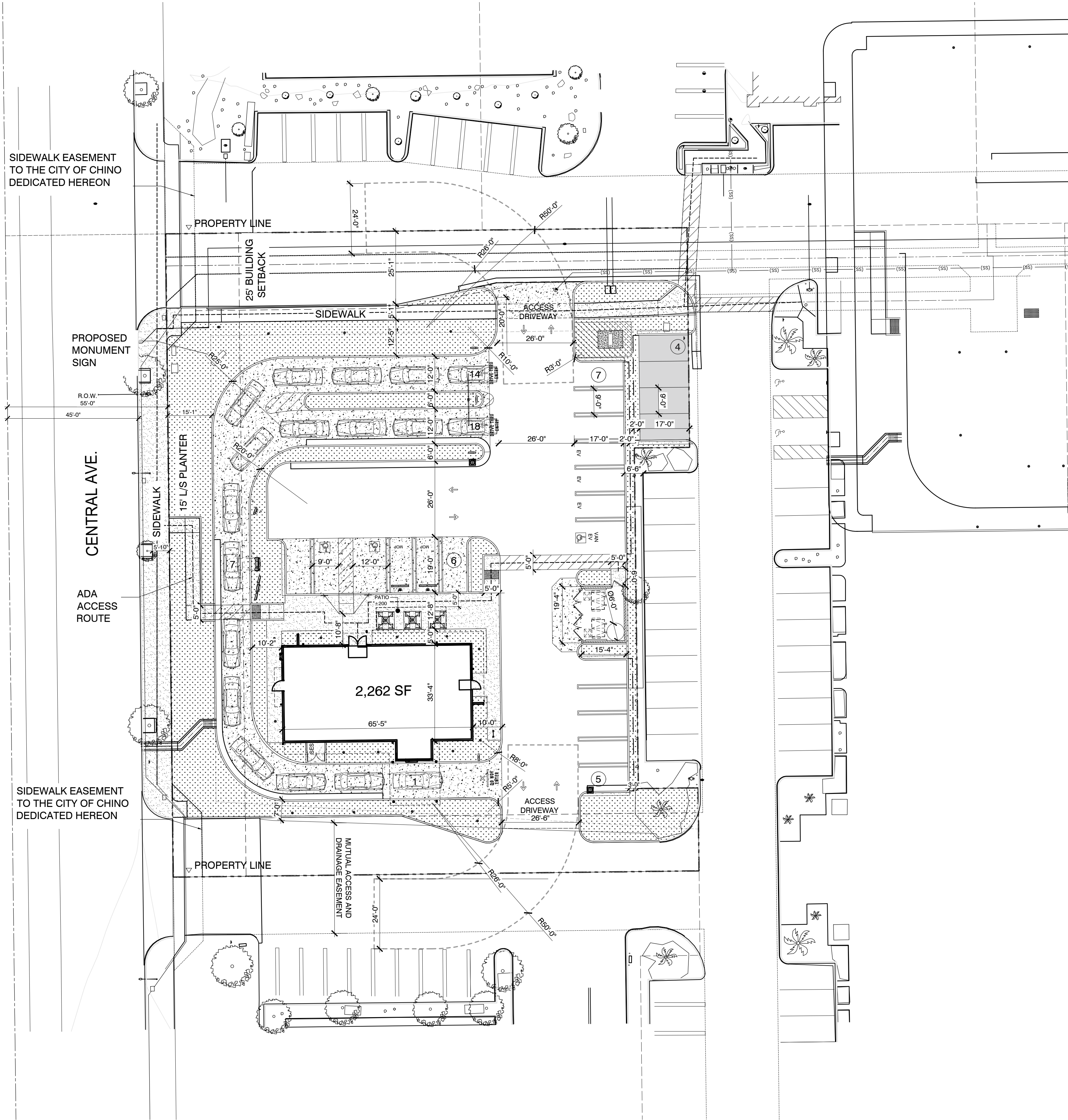
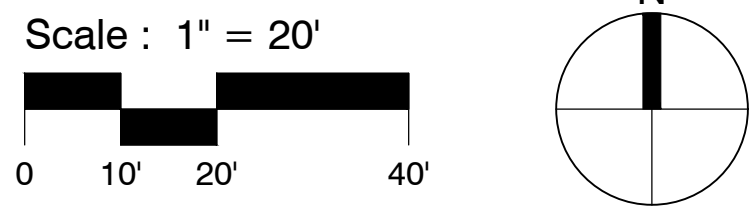
SHEET NUMBER:

SEC-1

DATE: 03/28/2025
MCG JOB #: 24.179.05

DATE	REVISIONS

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DRIVE-THRU COFFEE SHOP CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAEFER AVE
CHINO, CA 91710



PROJECT DIRECTORY

APPLICANT: **STARBUCKS**
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
Tel. No.: (714) 477-2816

ARCHITECT: **MCG ARCHITECTURE**
1501 WEST FOUNTAINHEAD PARKWAY, SUITE 321
TEMPE, AZ 85282
Tel. No.: (602) 813-0778
Contact: JORGE CALDERON
E-Mail: JCALDERON@MCGARCHITECTURE.COM

SITE DATA

A.P.N. NO.: 1020-571-12-0-000
EXISTING ZONING: CENTRAL AVENUE SPECIFIC PLAN (CS)

GENERAL PLAN LAND
USE DESIGNATION: GENERAL COMMERCIAL

EXISTING DEVELOPMENT: VACANT LOT

SITE AREA:
GROSS: 0.86 ACRES (37,461.6 S.F.)
NET (-MINUS RIGHT-OF-WAY
DEDICATIONS): 0.84 ACRES (36,721 S.F.)

LOT COVERAGE
(MAX ALLOWABLE 45%): 6.2% PROVIDED

LANDSCAPE COVERAGE:
(MINIMUM: 10%): 22.9% PROVIDED

FLOOR AREA RATIO:
(ALLOWABLE 0.6): .06 PROVIDED

IMPERVIOUS AREA RATIO: .76 PROVIDED

PROPOSED USE: RESTAURANT (DRIVE-THRU)

CONSTRUCTION TYPE: V-B

OCCUPANCY: B

BUILDING AREA: 2,262 SF

PARKING REQUIRED: 10 SPACES
1 SPACE FOR EACH 100 S.F. PUBLIC SEATING AREA. MINIMUM
OF 10 SPACES SHALL BE PROVIDED. (476 SF INDOOR, 200 SF
OUTDOOR). A QUEING LANE SUFFICIENT IN LENGTH TO
ACCOMMODATE 5 VEHICLES AT THE POINT OF FOOD
ORDERING SHALL BE PROVIDED.

PARKING PROVIDED: 22 SPACES

ACCESSIBLE SPACES REQUIRED: 1 SPACE
ACCESSIBLE SPACES PROVIDED: 3 SPACE

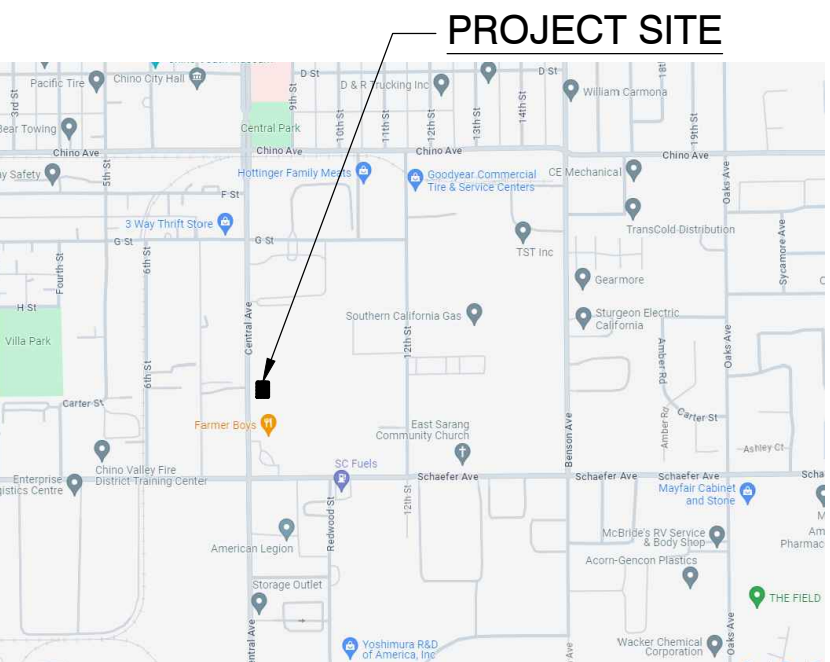
BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 2 SPACES

LEGEND:
LANDSCAPED AREA
ADA ACCESS PATH

PROJECT SCOPE OF WORK:
PROPOSED NEW DEVELOPMENT OF A 2,262 SF SINGLE STORY
DRIVE-THRU COFFEE SHOP RESTAURANT AND NEW TRASH
ENCLOSURE.

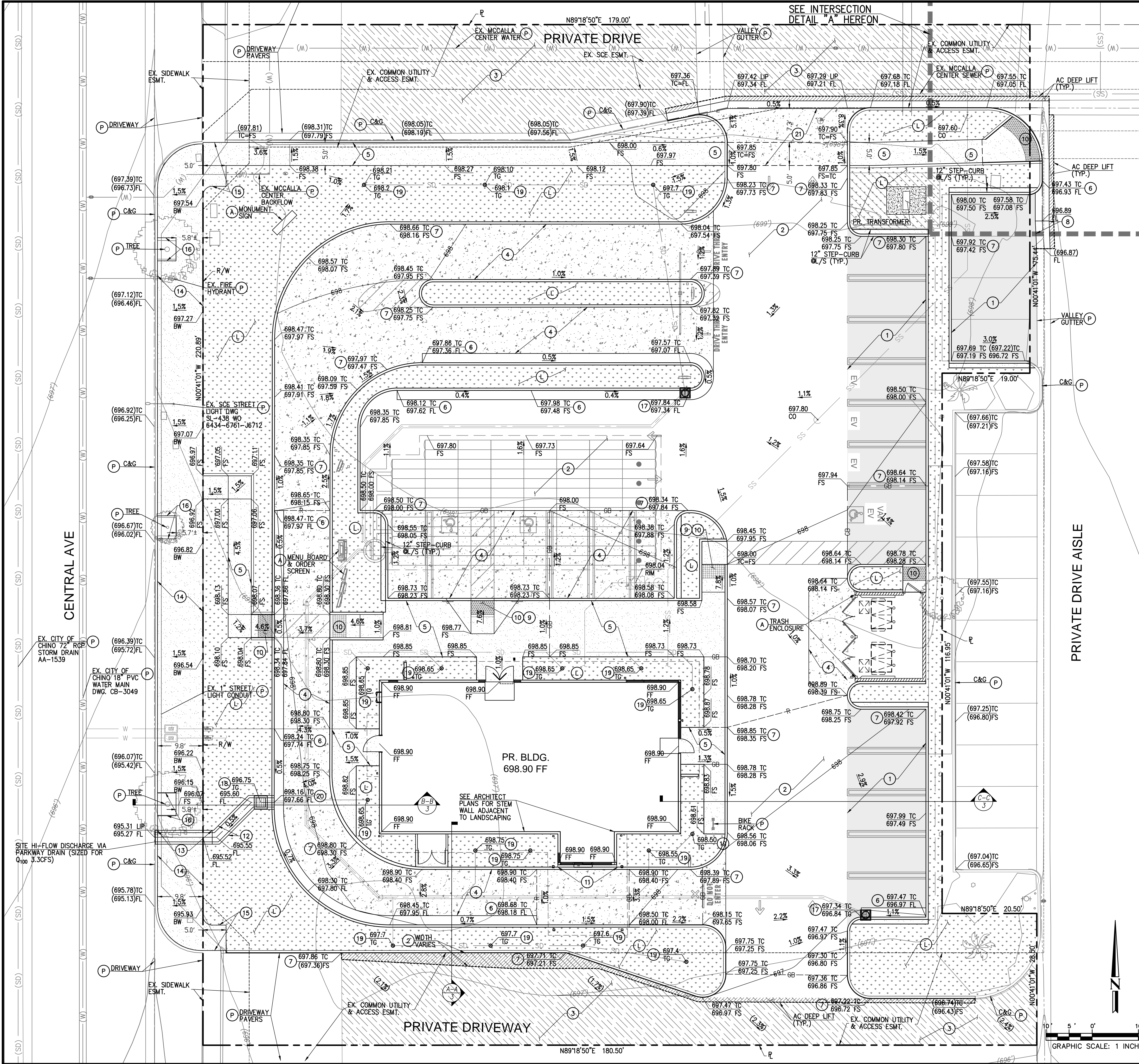
LEGAL DESCRIPTION:
PARCEL 6 OF PARCEL MAP NO. 14905, IN THE CITY OF CHINO,
COUNTY OF SAN BERNADINO, STATE OF CALIFORNIA, AS
SHOWN ON A MAP RECORDED IN BOOK 190, PAGES 40
THROUGH 43, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF
THE COUNTY RECORDER OF SAID COUNTY.

VICINITY MAP



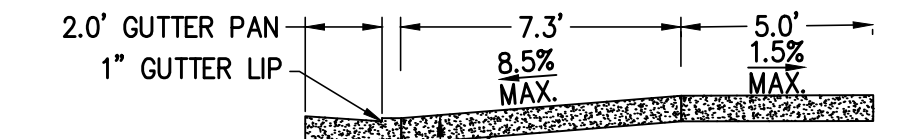
SHEET TITLE: **PEDESTRIAN
ACCESS PLAN**

SHEET NUMBER: **PA-1**

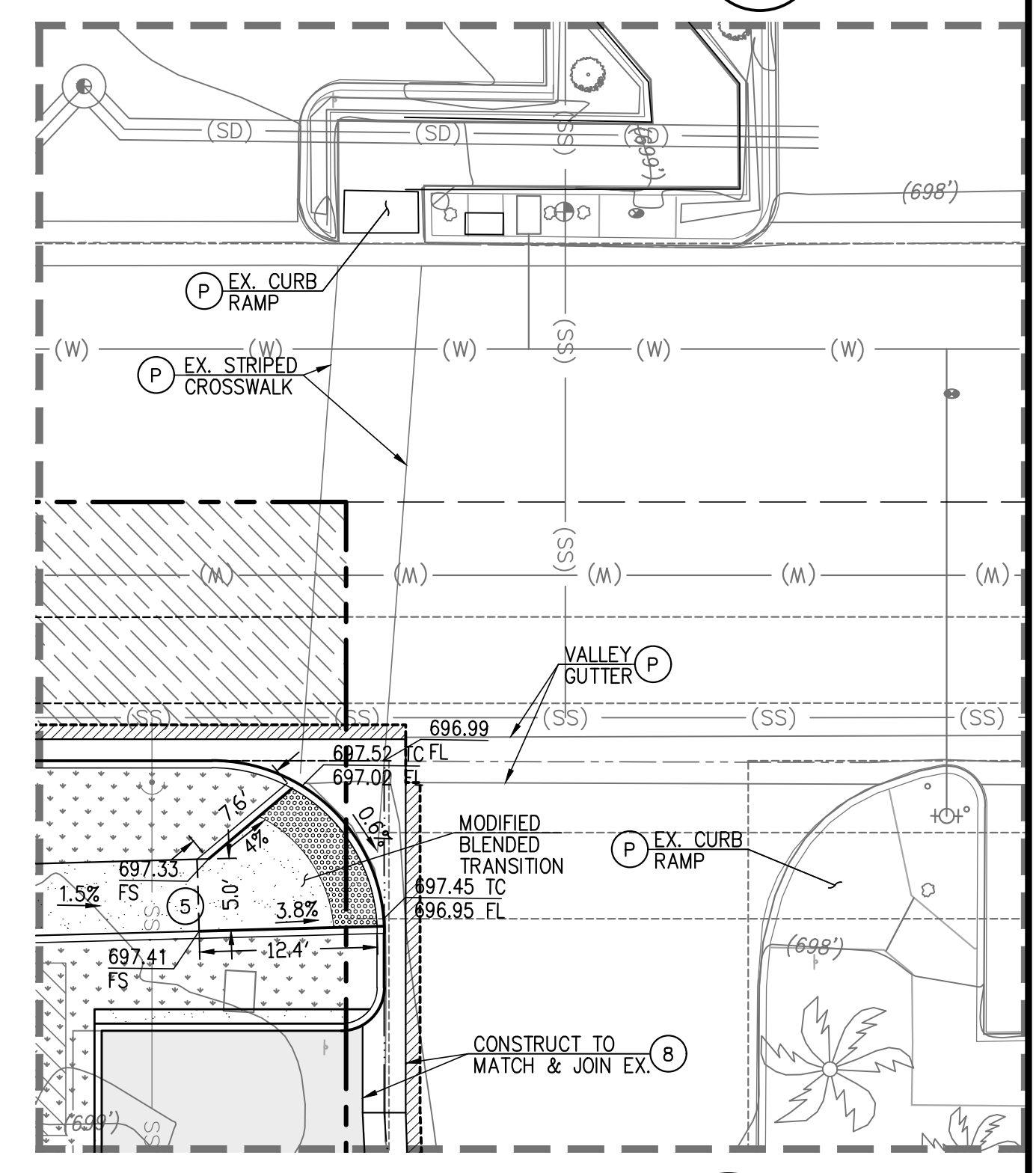


CONCEPTUAL GRADING NOTES:

- (P) PROTECT IN PLACE EXISTING ITEM AS INDICATED.
- (L) PROPOSED LANDSCAPING PER LANDSCAPE ARCHITECT PLANS.
- (A) ITEM AS INDICATED PER ARCHITECTURAL PLANS.
- (1) CONSTRUCT LIGHT DUTY PARKING STALL AC PAVEMENT 3" C2 PG-64-10/4" CLASS 2 AB.
- (2) CONSTRUCT HEAVY DUTY DRIVE AISLE AC PAVEMENT 3" C2 PG-64-10/6" CLASS 2 AB..
- (3) GRIND AND OVERLAY EXISTING AC PAVEMENT.
- (4) CONSTRUCT 6" PCC 3250 PSI C GRADATION W/ SIKI NOVOMESH 950 FIBER REINFORCEMENT.
- (5) CONSTRUCT 4" THICK PCC SIDEWALK PER CITY OF CHINO DWG. 230.
- (6) CONSTRUCT TYPE B 6" (UNLESS NOTED OTHERWISE) CONCRETE CURB AND GUTTER CITY OF CHINO STD. 205.
- (7) CONSTRUCT TYPE A 6" (UNLESS NOTED OTHERWISE) CONCRETE CURB ONLY CITY OF CHINO STD. 200.
- (8) CONSTRUCT CONCRETE VALLEY GUTTER.
- (9) CONSTRUCT CURB RAMP 8% MAXIMUM RUN SLOPE.
- (10) INSTALL CBC COMPLIANT TRUNCATED DOMES MINIMUM 3' WIDTH. FEDERAL YELLOW, WET-SET ARMOR-CAST SYSTEM (OR APPROVED EQUAL.)
- (11) INFILL TOP OF CURB TO BUILDING FACE AND/OR BACK OF CURB WITH 4" THICK PCC.
- (12) CONSTRUCT CONCRETE U-CHANNEL.
- (13) CONSTRUCT CURB OUTLET STRUCTURE PER S.B.C.D.P.W. STD. 210.
- (14) RECONSTRUCT PUBLIC SIDEWALK PER CITY OF CHINO STD. 230.
- (15) RECONSTRUCT SIDEWALK AT DRIVEWAY APPROACH PER CITY OF CHINO STD. 250.
- (16) RECONSTRUCT TREE WELL PER CITY OF CHINO STD. 601.
- (17) INSTALL 2'x2' ADS HIGHWAY CURB OPENING GRATE INLET W/ 18" NYLOPLAST BASIN. INLETS TO HAVE FLEXSTORM FILTER INSERT W/ OIL ABSORBENT BOOM. IN-FILL SUMP.
- (18) INSTALL BROOKS 2424CB DROP INLET WITH TRAFFIC-RATED GRATE & FLEXSTORM FILTER INSERT W/ OIL ABSORBENT BOOM.
- (19) INSTALL 9" ATRIUM GRATE AREA DRAIN.
- (20) CONSTRUCT CURB CUT.
- (21) CONSTRUCT MODIFIED CITY OF CHINO STD. 250 8" PCC DRIVE APPROACH.



PCC PRIVATE DRIVE APPROACH 21 N.T.S.



NE INTERSECTION A 1"=10'



PROJECT: STARBUCKS - CENTRAL & SCHAEFER
PARCEL 6 P.M. 14905 BK. 190/40-43
CHINO, CALIFORNIA

DRAWING NAME: CONCEPTUAL GRADING PLAN

ISSUE: CONCEPTUAL
DATE: 2025/03/05
CHECKED: JB DRAWN: NS
DRAWING FILE: 24-073CG

PROJECT NO: 24-073
SHEET NUMBER: 1
OF 3 SHEETS
SCALE: AS SHOWN

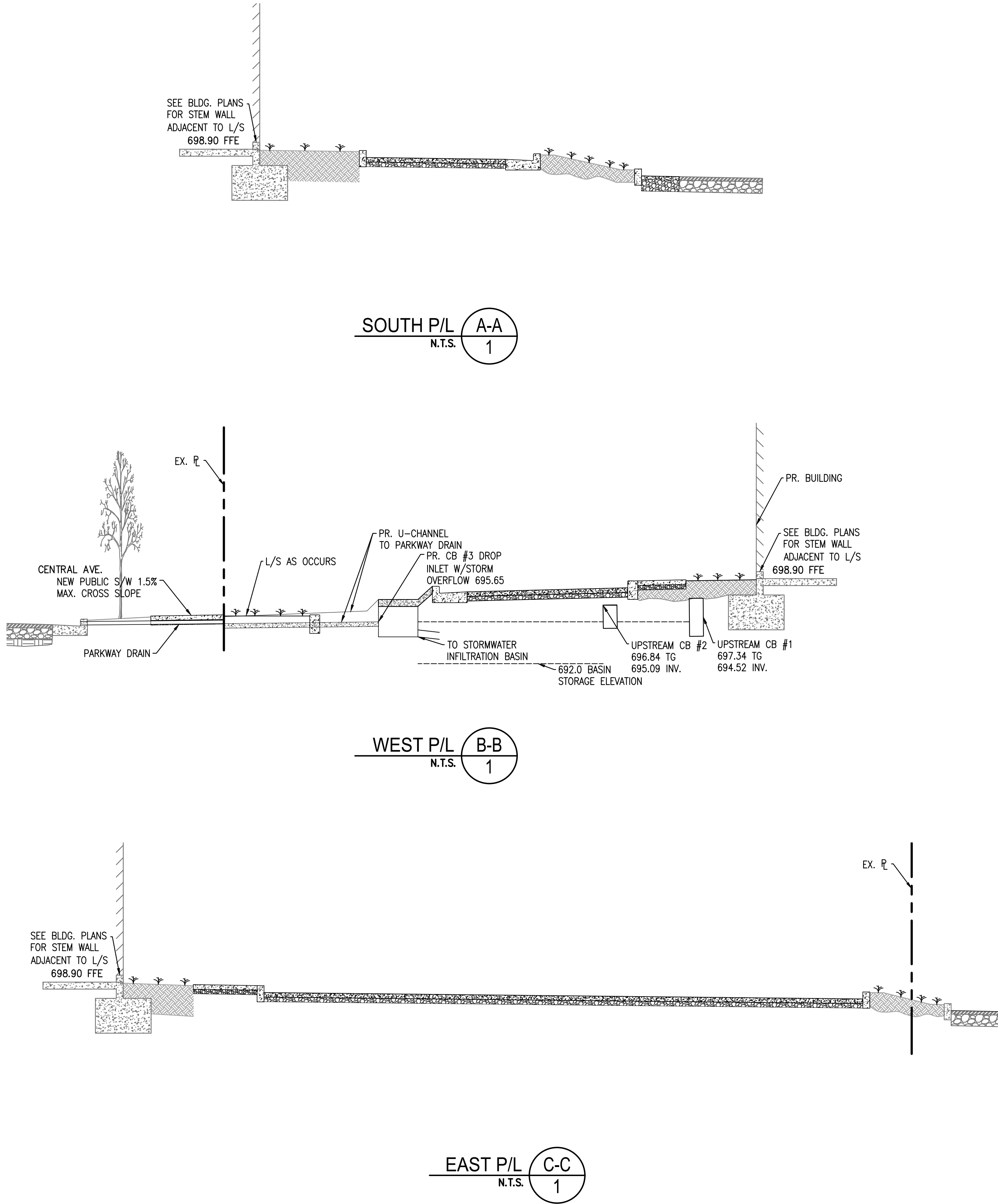
NO.: REVISION:
DATE:

DATE:

160 S. Old Springs Road
Suite 210
Anaheim Hills, CA 92808
714-685-6860

Engineering, Inc.
Civil Engineering/Land Surveying/Land Planning

NOT FOR CONSTRUCTION



PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	



24-073 REV 1 CHINO, CA, USA

SC-160LP STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-160LP.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1.5".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.9 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTEXTILE PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.

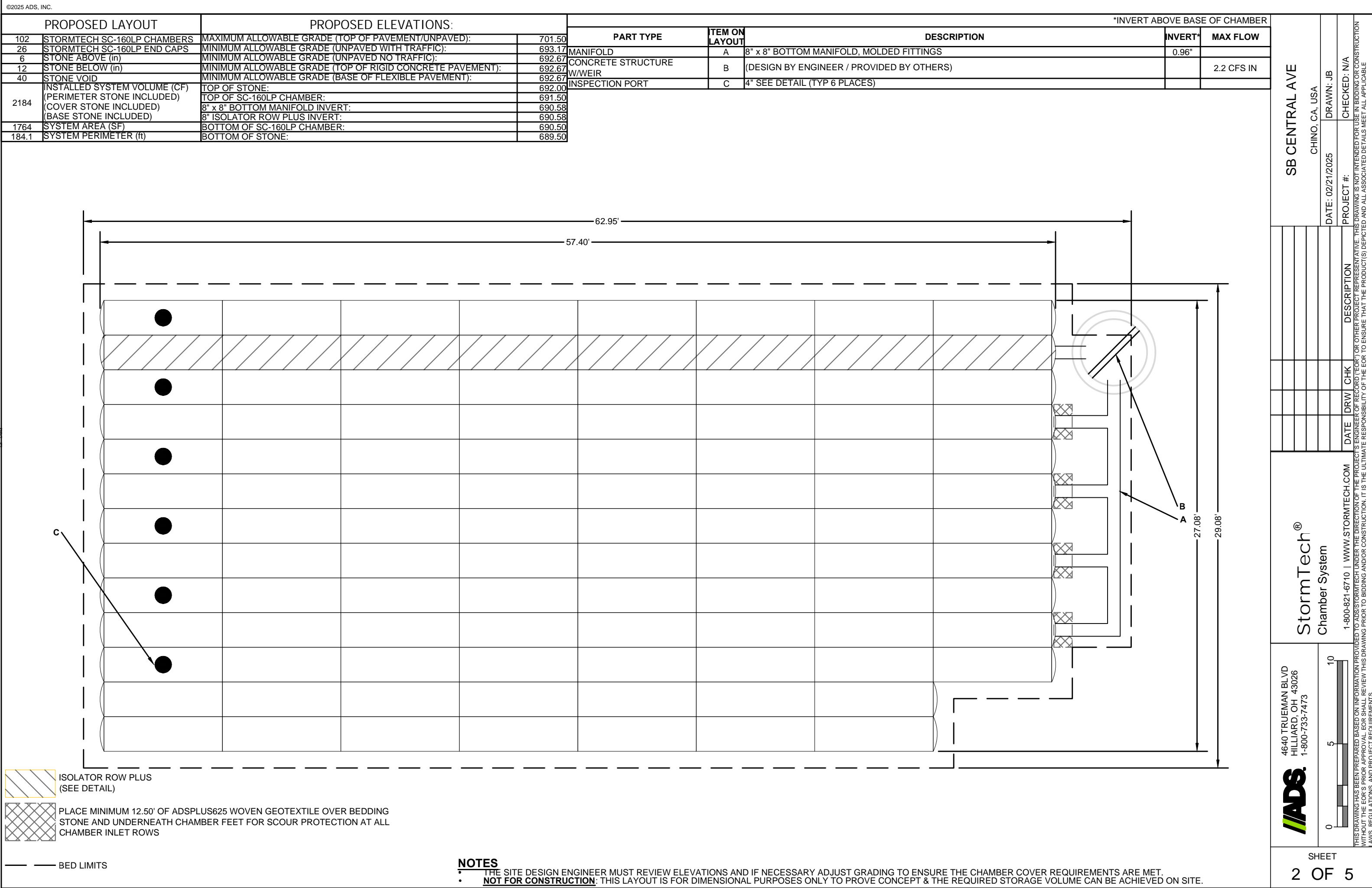
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-160LP SYSTEM

- STORMTECH SC-160LP CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-160LP CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE; AASHTO M43 #3, 357, 4, 467, 5, 56, OR 57.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- THE DEPTH OF FOUNDATION STONE SHALL BE DETERMINED BASED ON THE SUBGRADE BEARING CAPACITY PROVIDED BY THE SITE DESIGN ENGINEER.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES CONCERNING CHAMBER FOUNDATION DESIGN AND SUBGRADE BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- CHAMBERS SHALL BE INSTALLED "TOE TO TOE". NO ADDITIONAL SPACING BETWEEN ROWS IS REQUIRED.
- STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOTTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-160LP CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

CONTACT STORMTECH AT 1-800-821-6710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



- ISOLATOR ROW PLUS (SEE DETAIL)
- PLACE MINIMUM 12.5' OF ADSPLUS625 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS
- BED LIMITS

NOTES
• THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
• NOT FOR CONSTRUCTION: THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

160 S. Old Springs Road
Suite 210
Anaheim Hills, CA 92808
714-685-6860

DRRC
Engineering, Inc.
Civil Engineering/Land Surveying/Land Planning

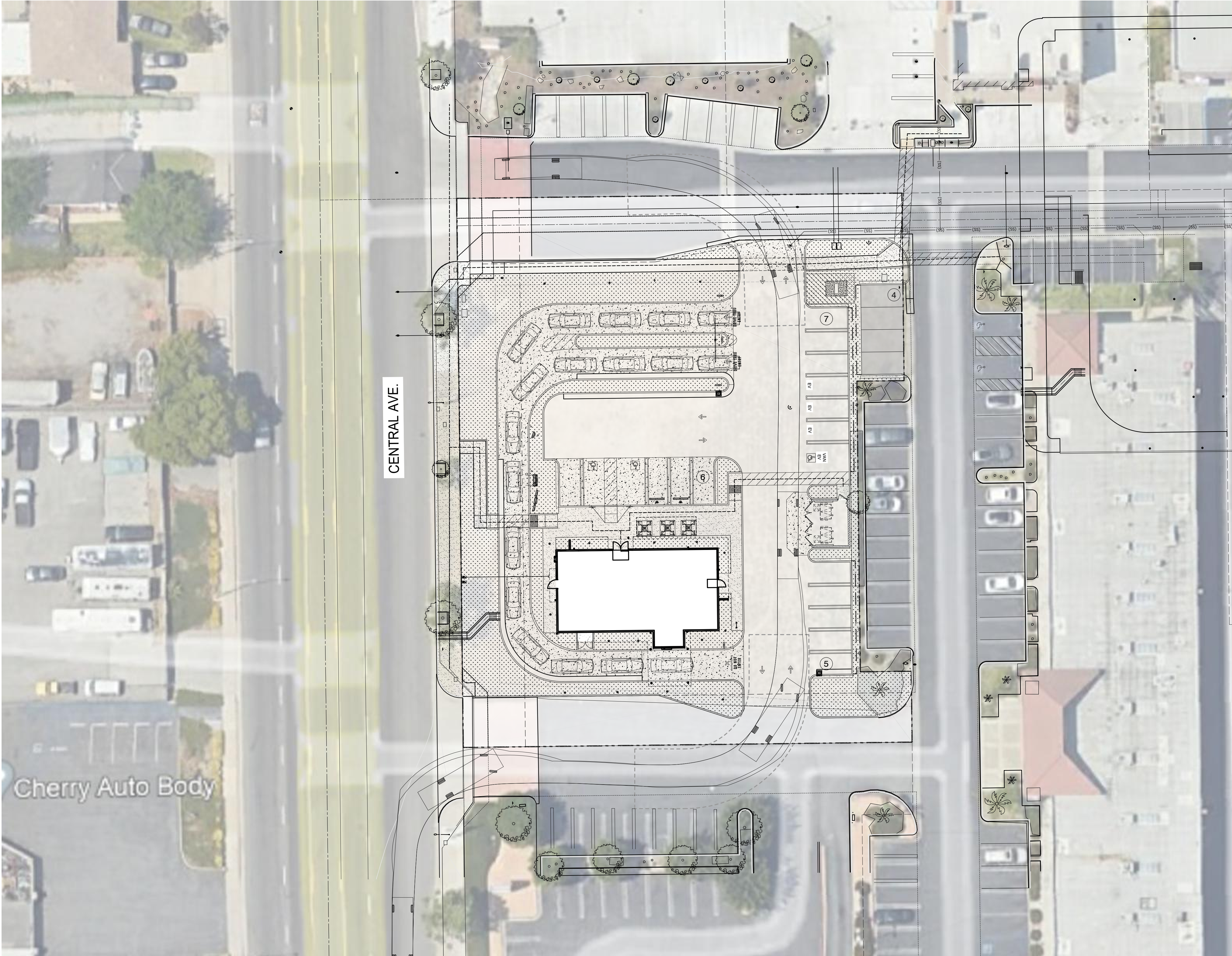
NOT FOR CONSTRUCTION

NO.	REVISION	DATE

PROJECT: **STARBUCKS - CENTRAL & SCHAEFER**
PARCEL 6 P.M. 14905 BK. 190/40-43
CHINO, CALIFORNIA

DRAWING NAME: **CROSS SECTIONS**

ISSUE:	CONCEPTUAL
DATE:	2025/02/20
CHECKED: JB	DRAWN: NS
DRAWING FILE:	24-073CG
PROJECT NO.:	24-073
SHEET NUMBER:	2
OF 3 SHEETS	
SCALE:	AS SHOWN



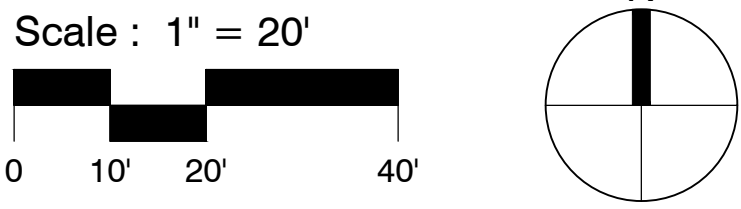
DRIVE-THRU COFFEE SHOP
CENTRAL AVE & SCHAEFER AVE

CENTRAL AVE & SCHAEFER AVE
CHINO, CA 91710

DATE: 04/15/2025
MCG JOB #: 24.179.05

DATE	REVISIONS

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PROJECT DIRECTORY

APPLICANT: **STARBUCKS**
2401 UTAH AVENUE SOUTH
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SITE DATA

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USE DESIGNATION: GENERAL COMMERCIAL

EXISTING DEVELOPMENT: VACANT LOT

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DEDICATIONS): 0.84 ACRES (36,721 S.F.)

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LANDSCAPE COVERAGE:
(MINIMUM 10%): 22.9% PROVIDED

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(ALLOWABLE 0.6): .06 PROVIDED

IMPERVIOUS AREA RATIO: .76 PROVIDED

PROPOSED USE: RESTAURANT (DRIVE-THRU)

CONSTRUCTION TYPE: V-B

OCCUPANCY: B

BUILDING AREA: 2,262 SF

PARKING REQUIRED: 10 SPACES
1 SPACE FOR EACH 100 S.F. PUBLIC SEATING AREA. MINIMUM
OF 10 SPACES SHALL BE PROVIDED. (476 SF INDOOR, 200 SF
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ACCESSIBLE SPACES REQUIRED: 1 SPACE
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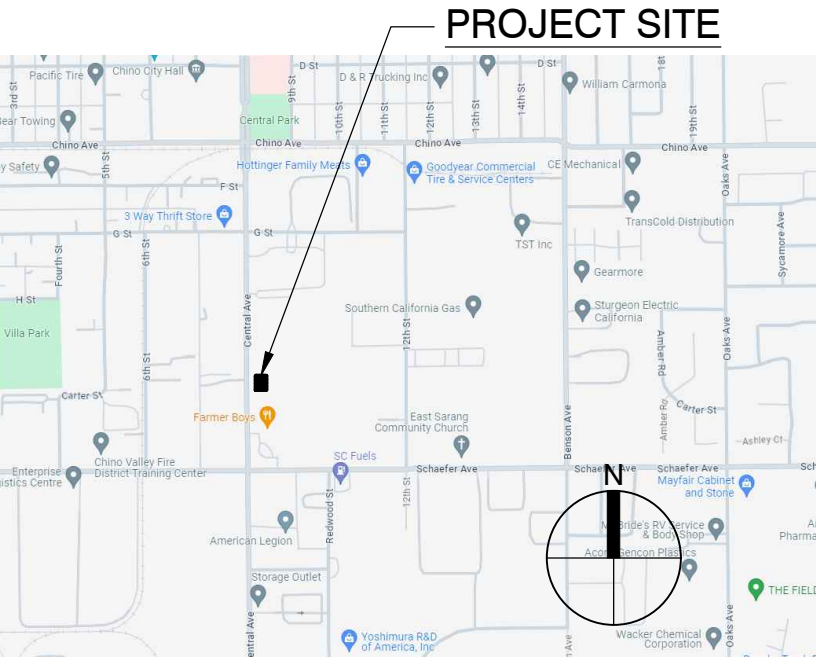
LANDSCAPED AREA

→ ADA ACCESS PATH

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PROPOSED NEW DEVELOPMENT OF A 2,262 SF SINGLE STORY
DRIVE-THRU COFFEE SHOP RESTAURANT AND NEW TRASH
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THROUGH 43, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF
THE COUNTY RECORDER OF SAID COUNTY.

VICINITY MAP



SHEET TITLE:
SITE PLAN - TRUCK
TURNING TEMPLATE

SHEET NUMBER:
SP-1