



Those persons wishing to speak on any item included on the agenda, or on any matter within the subject matter jurisdiction of the Planning Commission, are invited to fill out and submit to the Recording Secretary a "Request to Speak" form (name and address optional) which is available at the entrance to the City Council Chambers. Additionally, members of the public may submit electronic inquiries or comments by submitting emails to Planning@cityofchino.org no later than 5:00 p.m. the day of the meeting.

If you require a reasonable accommodation to participate in this meeting per your rights under the Americans with Disabilities Act or for any other reason, please contact the City Clerk's Office at (909) 334-3306 at least 48 hours prior to the advertised starting time of the meeting.

Any documents produced by the City and distributed to a majority of the Planning Commission regarding any item on this agenda will be made available in the Development Services Department during normal business hours at City Hall located at 13220 Central Avenue, Chino. In addition, such documents will be posted on the City's website at www.cityofchino.org.

CHINO PLANNING COMMISSION

**CITY HALL COUNCIL CHAMBERS
13220 CENTRAL AVENUE
CHINO, CA 91710**

WEDNESDAY, SEPTEMBER 17, 2025 AT 6:00 PM

REGULAR MEETING

AGENDA

FLAG SALUTE

ROLL CALL

Planning Commission Members: Jimmy Alexandris (Chairperson), Lissa Fraga (Vice Chairperson), Brandon Blanchard, Kevin Cisneroz, Steve Lewis, Vincent Lopez, Lawrence Vieira

ANNOUNCEMENTS

PUBLIC COMMUNICATIONS

At this time, members of the public may address the Planning Commission on subjects that do not appear on the agenda. Please state your name for the record and limit your remarks to three minutes. If you have an item that will require discussion, please request that the item be placed on the next Planning Commission meeting agenda.

CONSENT CALENDAR

At this time, members of the public may present testimony as to why an item should be removed from the Consent Calendar for separate discussion. Unless a member of the public or Planning Commission requests that an item be removed from the Consent Calendar, all items will be acted upon on one summary vote. Items removed from the Consent Calendar will be acted upon separately, following the Public Hearing procedures.

1. Minutes. Regular Meeting of August 20, 2025 (All Members Present).

PUBLIC HEARING

The public will be given an opportunity to speak on each of the items listed below. Following a presentation and questions from the Planning Commission to staff, the chairperson will open the public hearing. At that time, the applicant will be permitted ten minutes to present their case. Members of the public will then be permitted five minutes to speak. After all have spoken, the applicant is permitted three minutes to summarize. The public hearing is then closed; however, the Planning Commission may, at its discretion, reopen the public hearing to receive additional public testimony. It is requested, but not required, that any members of the public addressing the Planning Commission state their name for the record prior to making your remarks.

2. PL25-0084 (Tentative Parcel Map No. 20988). A request to subdivide a 9.06-acre parcel into two numbered parcels and one letter parcel for conveyance purposes, located in the RD 4.5 land use designation of the East Chino Specific Plan.

Staff Report By: Chris Cortez, Assistant Planner

RECOMMENDATION: Adopt Planning Commission Resolution No. PC2025-023, approving PL25-0084 (Tentative Parcel Map No. 20988), based upon the findings and subject to the departmental conditions of approval.

3. PL24-0133 (Site Approval). A request to construct 93 single-family detached condominium dwelling units on 6.48 adjusted gross acres of land at a density of 14.35 dwelling units per acre in the Community Core 16 (CC 16) land use designation of The Preserve Specific Plan.

Staff Report By: Brian Sitton, Associate Planner

RECOMMENDATION: Adopt Planning Commission Resolution No. PC2025-024, approving PL24-0133 (Site Approval), based upon the findings and subject to the departmental conditions of approval.

NEW BUSINESS

DIRECTOR'S REPORT

COMMISSION COMMENTS

ADJOURNMENT

Adjourn to a regular meeting of the Planning Commission on October 15, 2025 at 6 p.m. in these Council Chambers.

I, Natalie Gonzaga, City Clerk of the City of Chino, hereby declare that on September 10, 2025 this agenda was posted on the south window of Chino City Hall and this agenda together with all of the agenda reports and related documents were posted on the City's website at www.cityofchino.org by myself or under my direction.



Natalie Gonzaga, City Clerk.

All Planning Commission decisions may be appealed to the City Council. An appeal of a Planning Commission decision must be filed with the Planning Division within ten (10) calendar days of the decision date.

**MEMORANDUM
CITY OF CHINO
DEVELOPMENT SERVICES DEPARTMENT**

PLANNING COMMISSION MEETING DATE: SEPTEMBER 17, 2025

DATE: SEPTEMBER 17, 2025

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

FROM: ANDREA GILBERT, CITY PLANNER

SUBJECT

Minutes of the Regular Meeting of the Planning Commission of August 20, 2025 (All Members Present).

CHINO PLANNING COMMISSION

REGULAR MEETING - CITY HALL COUNCIL CHAMBERS 13220 CENTRAL AVENUE CHINO, CA 91710

WEDNESDAY, AUGUST 20, 2025

MINUTES

FLAG SALUTE

The Pledge of Allegiance was led by Commissioner Vieira.

ROLL CALL

PRESENT Commissioner Brandon Blanchard, Commissioner Kevin Cisneroz, Commissioner Lissa Fraga, Commissioner Jimmy Alexandris, Commissioner Steve Lewis, Commissioner Lawrence Vieira, and Commissioner Vincent Lopez

ABSENT NONE.

ANNOUNCEMENTS

Andrea Gilbert, City Planner, informed the Commission that staff received letters for Agenda Item Nos. 3 and 4. The letters will be addressed during the presentation and copies have been placed at the dais for the Commissioners' review.

PUBLIC COMMUNICATIONS

None.

CONSENT CALENDAR

1. Minutes. Regular Meeting of July 16, 2025 (All Members Present).

Motion by Commissioner Lewis, seconded by Vice Chair Fraga, to approve the Consent Calendar. The motion carried by the following vote:

AYES: COMMISSIONER BLANCHARD, COMMISSIONER CISNEROZ,
COMMISSIONER FRAGA, COMMISSIONER ALEXANDRIS,
COMMISSIONER LEWIS, COMMISSIONER VIEIRA, AND COMMISSIONER
LOPEZ

NOES: NONE.

ABSENT: NONE.

PUBLIC HEARING

2. PL24-0131 (Special Conditional Use Permit). A request to construct a 1,600 square foot recreational vehicle garage on a residential property located within the RD2 (Residential 2 du/ac) zoning district.

Staff Report By: Chris Cortez, Assistant Planner

RECOMMENDATION: Adopt Planning Commission Resolution No. PC2025-019, approving PL24-0131 (Special Conditional Use Permit), based upon the findings and subject to the departmental conditions of approval.

Chairman Alexandris opened the public hearing.

Chris Cortez, Assistant Planner, presented the staff report to the Planning Commission.

Kimberly Timber addressed the Commission on behalf of the applicant, and accepted all the Conditions of Approval for this agenda item.

There being no one else present to address the Commission on this item, the public hearing was closed.

Motion by Vice Chair Fraga, seconded by Commissioner Cisneroz, to adopt Planning Commission Resolution No. PC2025-019, approving PL24-0131 (Special Conditional Use Permit), based upon the findings and subject to the departmental conditions of approval. The motion carried by the following vote:

AYES: COMMISSIONER BLANCHARD, COMMISSIONER CISNEROZ, COMMISSIONER FRAGA, COMMISSIONER ALEXANDRIS, COMMISSIONER LEWIS, COMMISSIONER VIEIRA, AND COMMISSIONER LOPEZ

NOES: NONE.

ABSENT: NONE.

3. PL24-0110 (Site Approval). A request to construct 850 luxury rental units on 34.68 acres at an overall density of 24.38 dwelling units per acre in the HDR16, CC16 (Residential and Community Core, 16 du/a), HDR 30 (Residential, 30 du/a) in The Preserve Specific Plan.

Staff Report By: Maria Staar, Senior Planner

RECOMMENDATION: Adopt Planning Commission Resolution No. PC2025-017, approving PL24-0110 (Site Approval), based upon the findings and subject to the departmental conditions of approval.

Chairman Alexandris opened the public hearing.

Maria Staar, Senior Planner, presented the staff report to the Planning Commission.

Brian Jacobson, Project Manager for Lewis Management Corp, applicant, addressed the Commission.

Commissioner Blanchard asked Mr. Jacobson if the applicant would be willing to add something decorative to the facade of the clubhouse building. Mr. Jacobson responded that they would be happy to work with staff to come up with some alternative treatments for that facade. Finally, Mr. Jacobson accepted all the Conditions of Approval for this agenda item.

Fred Galante, City Attorney, recommended that the Commission may want to add a Condition of Approval that the applicant shall work with staff on revisions to the architecture subject to final approval by the Director of Development Services.

Commissioner Blanchard stated that he would like to see enhancements so that the facade is

consistent throughout the project. Andrea Gilbert, City Planner, suggested that the faux lattice be removed and something be added that is consistent with the remainder of the building.

Chairman Alexandris asked Mr. Jacobson if he would agree to a Condition of Approval that the applicant work with staff to add enhancements for continuity and consistency for the clubhouse. Mr. Jacobson agreed to such a Condition of Approval.

There being no one else present to address the Commission on this item, the public hearing was closed.

Mr. Galante stated that the new Condition of Approval would be added as No. 3.19.6.

Motion by Commissioner Lewis, seconded by Commissioner Blanchard, to adopt Planning Commission Resolution No. PC2025-017, approving PL24-0110 (Site Approval), based upon the findings and subject to the departmental conditions of approval, with the added Condition of Approval No. 3.19.6 stating that the applicant shall work with staff on revisions to the architecture subject to final approval by the Director of Development Services. The motion carried by the following vote:

**AYES: COMMISSIONER BLANCHARD, COMMISSIONER CISNEROZ,
COMMISSIONER FRAGA, COMMISSIONER ALEXANDRIS,
COMMISSIONER LEWIS, COMMISSIONER VIEIRA, AND COMMISSIONER
LOPEZ**

NOES: NONE.

ABSENT: NONE.

4. PL24-0151 (Site Approval). A request to construct a 110-unit rental community on 4.12 acres located at 0 Corporate Center Avenue, north of Chino Hills Parkway and East of the 71 Freeway within the Auto Mall land use designation of The Eucalyptus Business Park Specific Plan.

Staff Report By: Maria Staar, Senior Planner

RECOMMENDATION: Adopt Planning Commission Resolution No. PC2025-018, approving PL24-0151 (Site Approval), based upon the findings and subject to the departmental conditions of approval.

Chairman Alexandris opened the public hearing.

Maria Staar, Senior Planner, presented the staff report to the Planning Commission.

Karen Alves, Vice President of Development for BCT Development, applicant, addressed the Commission, and presented a PowerPoint Presentation giving an overview of the company. Additionally, Ms. Alves accepted all the Conditions of Approval for this agenda item.

Mayor Pro Tem Curtis Burton addressed the Commission and suggested that the architecture be enhanced on all four sides of this project. Andrea Gilbert, City Planner, informed the Commission that there are architectural elements on all four sides of this project.

There being no one else present to address the Commission on this item, the public hearing was closed.

Motion by Vice Chair Fraga, seconded by Commissioner Blanchard, to adopt Planning Commission Resolution No. PC2025-018, approving PL24-0151 (Site Approval), based upon the findings and subject to the departmental conditions of approval. The motion

carried by the following vote:

AYES: COMMISSIONER BLANCHARD, COMMISSIONER CISNEROZ,
COMMISSIONER FRAGA, COMMISSIONER LEWIS, AND COMMISSIONER
LOPEZ

NOES: COMMISSIONER ALEXANDRIS, AND COMMISSIONER VIEIRA

ABSENT: NONE.

5. Comprehensive General Plan Update PL23-0128 (General Plan Amendment) and PL23-0129 (Zone Map Change). Comprehensive General Plan Update
Staff Report By: Michael Hitz, Principal Planner

Chairman Alexandris opened the public hearing.

Mike Hitz, Principal Planner, welcomed the Ex-Officio Commissioners. He introduced Andrew Hill of Dyett and Bhatia, the City's General Plan consultant, who presented the item to the Commissioners.

Mr. Hill informed the Commission that the full comprehensive zoning code update will come before the Commission in 2026 and that it is anticipated that the City Council will hear this item at their September 2, 2025 meeting. He informed the Commission that the Zoning Map Amendments under consideration tonight are for the purpose of better alignment with existing conditions and that no new zoning districts are being implemented. Additionally, he stated that all changes are consistent with the City's Measure M growth measure.

Mr. Hill introduced Nick Larkin from Recon Environmental, who prepared the Environmental Impact Report (EIR) and gave the Commission an overview of the EIR.

Additionally, Mr. Hill stated that as to Resolution No. PC2025-020, the staff report correctly identifies that the EIR found significant and unavoidable impacts related to noise from development under the 2045 General Plan, however the wording on the resolution itself did not reference that. He recommended that when the Commission makes its motion on this item, that reference be made to significant and unavoidable impacts as to noise.

Chairman Alexandris opened the public hearing.

Robert Martinez, resident, addressed the Commission in support. He stated that he was part of General Plan Advisory Commission and informed the Commission that they had a lot of community input. The consultant and staff adapted and worked with the community. Finally, he thanked the consultant and staff and stated that they did a remarkable job.

Commissioner Lewis agreed with Mr. Martinez's comments.

There being no one else present to address the Commission on this item, the public hearing was closed.

Motion by Commissioner Lewis, seconded by Vice Chair Fraga, to 1) adopt Planning Commission Resolution No. PC2025-020, recommending the City Council certify the City of Chino 2045 General Plan Update Environmental Impact Report, adopt the Mitigation Monitoring and Reporting Program, adopt the Environmental Findings of Fact and Statement of Overriding Considerations related to air quality, greenhouse gas emissions, historic resources, and transportation, and adding the reference to significant and unavoidable impacts as to noise to Resolution No. PC2025-020 as stated

by Mr. Hill during the presentation of this item; 2) adopt Planning Commission Resolution No. PC2025-021, recommending the City Council adopt the 2045 General Plan (PL23-0128 General Plan Amendment), and repeal the 2025 General Plan (excluding the adopted 2021-2029 Housing Element), the Majestic Spectrum Specific Plan, Eucalyptus Business Park Specific Plan and Central Avenue Specific Plan based upon the findings listed in Planning Commission Resolution PC2025-020; and 3) adopt Planning Commission Resolution No. PC2025-022, recommending the City Council approve PL23-0129 (Zone Change) for targeted zoning map amendments that propose to better align zoning with as built uses and market potential for the respective sites based on the findings listed in Planning Commission Resolution No. PC2025-020. The motion carried by the following vote:

AYES: LEWIS, FRAGA, BLANCHARD, CISNEROZ, LOPEZ, VIEIRA, ROWE, SASSER, ALEXANDRIS
NOES: NONE
ABSENT: NONE

DIRECTOR'S REPORT

Andrea Gilbert, City Planner, welcomed the two new commissioners from the Sphere of Influence.

NEW BUSINESS

None.

COMMISSION COMMENTS

Commissioner Cisneroz welcomed the two new commissioners from the Sphere of Influence.

Ex Officio Commissioner Sasser stated he looks forward to voting on item as a member of the Commission.

Chairman Alexandris with his brother a happy birthday to his brother and his nephew. He thanked to the Fire District and the Police Department for all they do for the community.

ADJOURNMENT

Adjourn to a regular meeting of the Planning Commission on September 17, 2025 at 6 p.m. in these Council Chambers.

APPROVED AND ADOPTED THIS 17TH DAY OF SEPTEMBER 2025.

CHAIRMAN, PLANNING COMMISSION

SECRETARY, PLANNING COMMISSION

(These minutes are not official until signed.)

**MEMORANDUM
CITY OF CHINO
DEVELOPMENT SERVICES DEPARTMENT**

PLANNING COMMISSION MEETING DATE: SEPTEMBER 17, 2025

PL25-0084 (Tentative Parcel Map No.20988)

LOCATION MAP



PROJECT NO.: PL25-0084 (Tentative Parcel Map No. 20988)

APPLICANT: PLC Communities

REQUEST: A request to subdivide a 9.06-acre parcel into two numbered parcels and one letter parcel for conveyance purposes, located in the RD 4.5 land use designation of the East Chino Specific Plan.

LOCATION: Northwest corner of Edison Avenue and Cypress Avenue (APN: 1021-251-01).

RECOMMENDATION

Adopt Planning Commission Resolution No. PC2025-023, approving PL25-0084 (Tentative Parcel Map No. 20988), based upon the findings and subject to the departmental conditions of approval.

SURROUNDING ZONING AND LAND USE:

	<i>Existing Land Use</i>	<i>General Plan</i>	<i>Zoning District</i>
Project Site -	Residential and Agricultural/ Southern California Edison Easement	RD 4.5 (Residential, 4.5 du/ac), R/OS (Open Space Recreational)	East Chino Specific Plan, RD 4.5 (Residential, 4.5 du/ac), R/OS (Open Space Recreational)
North -	Agricultural	RD 4.5 (Residential, 4.5 du/ac)	East Chino Specific Plan, RD 4.5 (Residential, 4.5 du/ac)
East -	Residential and Agricultural/Southern California Edison Easement	RD 4.5 (Residential, 4.5 du/ac), R/OS (Open Space Recreational)	East Chino Specific Plan, RD 4.5 (Residential, 4.5 du/ac), R/OS (Open Space Recreational)
South -	Residential	LDR (Low Density Residential)	College Park Specific Plan (Low Density Residential)
West -	Residential/Southern California Edison Easement	RD 4.5 (Residential, 4.5 du/ac), R/OS (Open Space Recreational)	East Chino Specific Plan, RD 4.5 (Residential, 4.5 du/ac), R/OS (Open Space Recreational)

BACKGROUND

On February 26, 2025, PLC Communities (the “Applicant”), submitted a Preliminary Review application for a proposed subdivision and construction of 55 single family detached homes generally located between Cypress and Amsterdam Avenues, north of the Southern California Edison (SCE) easement. The site is located within the boundaries of the East Chino Specific Plan (ECSP). Subsequently, the Applicant filed an application to subdivide the property located at the northwest corner of Edison and Cypress Avenues into two numbered and one lettered lot, for conveyance purposes. The Applicant is in the process of acquiring one of the proposed parcels from the current property owner for future development.

ISSUES/ANALYSIS

The proposed Tentative Parcel Map (TPM 20988) includes property at the northwest corner of Edison Avenue and Cypress Avenue, within the ECSP. TPM 20988 will create two numbered parcels and one lettered parcel. Parcel 1, which is 2.84 acres will be conveyed from the Louis Aguerre Family Trust to the Applicant. The Applicant intends to develop this parcel, along with an existing parcel to the north with a 55-lot single-family residential development. The future development requires the Applicant to submit a Tentative Tract Map and Site Approval application for review and approval. Project applications for the development would be submitted at a future date. Parcel 2 is 5.90 acres and includes land within the SCE easement. Parcel 2 will remain under the ownership of the Louis Aguerre Family Trust and maintain the current residential and agricultural uses, which include a single-family home with crop cultivation. Parcel A, located adjacent to Edison Avenue, will be dedicated to the public right-of-way.

Project statistics are as follows:

<i>Item</i>	<i>Proposed</i>
Project Area -	9.06 acres
No. Lots -	2 number lots, 1 letter lot
Lot Area -	Parcel 1 – 2.84 acres Parcel 2 – 5.90 acres Parcel A – 0.32 acres
Lot Width	Parcel 1 - 231.87 ft Parcel 2 – 1,001.87 ft Parcel A – 22 ft
Lot Depth	Parcel 1 - 628.45 ft Parcel 2 - 628.64 ft Parcel A - 628.64 ft

Public Noticing

A 10-day notice was mailed to all property owners within a 300-foot radius of the project site. In addition, a notice was published in the *Chino Champion* on September 6, 2025, and the City sent information out on the City's social media platforms. In response to the public notice, no comments have been received. The notice meets legal noticing requirements.

ENVIRONMENTAL REVIEW

In compliance with the California Environmental Quality Act (CEQA), pursuant to Guideline § 15315 - Minor Land Divisions, the project qualifies as being categorically exempt from CEQA. This exemption applies to subdivisions in urban areas for residential zones when the division is for four or fewer parcels, when the division is in conformance with the General Plan and zoning, no variances are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent. Furthermore, none of the exceptions set forth in the CEQA Guidelines 15300.2 apply to this project.

RESOLUTION NO. PC2025-023

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO, CALIFORNIA, APPROVING PL25-0084 (TENTATIVE PARCEL MAP NO. 20988) FOR A REQUEST TO SUBDIVIDE A 9.06-ACRE PARCEL INTO TWO NUMBERED PARCELS AND ONE LETTER PARCEL FOR CONVEYANCE PURPOSES, LOCATED IN THE RD 4.5 LAND USE DESIGNATION OF THE EAST CHINO SPECIFIC PLAN, LOCATED AT THE NORTHWEST CORNER OF EDISON AVENUE AND CYPRESS AVENUE (APN: 1021-251-01).

WHEREAS, PLC Communities (the “Applicant”), has filed an application with the City of Chino (the “City”) for approval of PL25-0084 (TPM No. 20988) (the “Project”) for a request to subdivide a 9.06-acre parcel into two numbered parcels and one letter lot for conveyance purposes, located in the RD 4.5 land use designation of the East Chino Specific Plan, located at the northwest corner of Edison Avenue and Cypress Avenue (APN: 1021-251-01); and

WHEREAS, the Planning Commission of the City of Chino has completed its study of the proposed Project; and

WHEREAS, on September 17, 2025, the Planning Commission held a duly noticed public hearing for the Project in compliance with law, including compliance with the relevant provisions of the California Government Code and Chino Municipal Code, entertained the written and oral report of staff, and took public testimony on the Project, and

NOW, THEREFORE, the Planning Commission of the City of Chino, California, does hereby FIND, DETERMINE, and RESOLVE as follows:

A. The foregoing recitals are true and correct and incorporated herein.

B. Based on substantial evidence, both written and oral, from the public hearing, the Planning Commission makes the following findings and takes the following actions on PL25-0084 (TPM No. 20988):

1. *PL25-0084 (Tentative Parcel Map No. 20988)*

- a. *Consistency with plans.* The proposed subdivision, together with the provisions for its design and improvements, is consistent with applicable general or specific plans of the city, as the proposed subdivision is located within the ECSP and intended for conveyance purposes only. The site is located within the RD 4.5 land use designation of the ECSP, and meets all requirements of the General Plan and ECSP; and
- b. *Consistency with zoning.* The proposed subdivision is consistent with the provisions of the Chino Zoning Ordinance and other related ordinances, or a variance has been granted. The proposed subdivision is located within the ECSP and the proposed parcels meet or exceed the requirements for lot size, required dedications, easements, and other requirements as

outlined in the City's Zoning Ordinance and the ECSP. A variance is not required for the proposed subdivision; and

- c. *Suitability*. The site is physically suitable for the type or density of development. The subdivision is for conveyance purposes only and no development is proposed as part of the subdivision. Future development will require approval of a subsequent map; and
- d. *Environmental damage*. The design of the subdivision or the proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The subdivision is for conveyance purposes only and no development will occur as part of this map. Additionally, the subdivision is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Guideline § 15315 – Minor Land Divisions; and
- e. *Wastewater*. The discharge of waste from the proposed subdivision into a community sewer system will not result in violation of existing requirements prescribed by a California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000 of the Water Code); and
- f. *Water service*. The review of the City Engineer or water service agency indicates that there is sufficient water to provide for the residents of the subdivision. The proposed subdivision is for conveyance purposes only and no development will occur as part of the subdivision. Additionally, the site water service is currently provided by the City of Chino and no additional water demand will occur as part of the subdivision; and
- g. *Soils and geology*. There are no adverse soil or geological conditions, according to a preliminary soils report or geological hazard report, or the subdivider has demonstrated to the satisfaction of the Director of Development Services, City Engineer and Planning Commission that adverse conditions can be corrected. The subdivision is for conveyance purposes only and no development will occur as part of the subdivision. Any future development on the site will be required to demonstrate soil conditions are suitable for development; and
- h. *Public Health*. The design of the subdivision or the type of improvements will not cause serious public health problems as the subdivision is for conveyance purposes only and no development will occur with the proposed subdivision; and
- i. *Easements*. The design of the subdivision or the type of improvements or type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. The proposed subdivision is for conveyance purposes only and no development will occur as part of the subdivision. The proposed subdivision will dedicate right-of-way for the future widening of Edison Avenue; and
- j. *Environmental documentation*. The environmental documentation is adequate and conforms with the provisions of the California Environmental

Quality Act, as the Project is categorically exempt from the CEQA pursuant to Guideline § 15315 – Minor Land Divisions; and

- k. *Agricultural suitability.* The proposed subdivision will not result in the subdivision of agricultural parcels to a size too small to sustain agricultural use under the conditions for denial listed in Section 66474.4 of the Subdivision Map Act, as the property is not currently encumbered with any Williamson Act contracts.
2. *CEQA Findings.* The Planning Commission finds that, in compliance with the CEQA, pursuant to Guideline § 15315, Minor Land Divisions, the Project qualifies as being categorically exempt from CEQA and will have no significant impact on the environment. Furthermore, none of the exceptions to the categorical exemptions set forth in the CEQA Guidelines 15300.2, apply to this project.
3. *Approval of PL25-0084 (TPM No. 20988).* The Planning Commission hereby approves PL25-0084 (TPM No. 20988) subject to the conditions of approval attached hereto as Exhibit “A”. Applicant, including its successors and assigns, shall be responsible for implementing and complying with all conditions set forth in Exhibit “A”.
4. *Actions by the Planning Commission Secretary.* The Planning Commission Secretary is hereby directed to attest to the adoption of this Resolution as of the date set forth below and forthwith transmit a copy of this Resolution, by regular mail, to the Applicant at the address of record set forth in the Application.

PASSED, APPROVED, AND ADOPTED THIS 17TH DAY OF SEPTEMBER 2025.

PLANNING COMMISSION CHAIRPERSON

ATTEST:

SECRETARY, PLANNING COMMISSION

State of California)
County of San Bernardino) §
City of Chino)

I hereby certify the foregoing Resolution was duly adopted by the Chino Planning Commission at a meeting held on the 17th day of September 2025 and entered in the minutes of said Commission.

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

SECRETARY, PLANNING COMMISSION

Attachment:

Exhibit A – Conditions of Approval

EXHIBIT A
DEPARTMENTAL
CONDITIONS OF APPROVAL

DATE: September 17, 2025

PROJECT FILE NO.: PL25-0084 (Tentative Parcel Map No. 20988)

LOCATION: Northwest corner of Edison Avenue and Cypress Avenue
(APN 1021-251-01)

APPLICANT: PLC Communities

The departments listed below have reviewed the above referenced application. Those departments marked with an “X” have required conditions of approval to be imposed on the project.

Development Services Department –

- ☒ Planning Division
- ☐ ADA Accessibility Division

Public Works Department –

- ☒ Engineering Division
- ☐ Traffic Division

- ☐ Chino Valley Independent Fire District
- ☐ Police Department
- ☐ Finance Department
- ☐ Community Services, Parks & Recreation Department

**DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION CONDITIONS OF APPROVAL**

DATE: September 17, 2025

PROJECT FILE NO.: PL25-0084 (Tentative Parcel Map No. 20988)

LOCATION: Northwest corner of Cypress Avenue and Edison Avenue
(APN 1021-251-01)

APPLICANT: PLC Communities

1.0 TIME LIMITS

- 1.1 The above referenced tentative subdivision map shall expire 2 years from the date of tentative map approval if the final map has not been recorded. The Planning Commission may extend the approval if a time extension request application is submitted to the Director of Development Services at least 30 days prior to the expiration of the application.

2.0 GENERAL REQUIREMENTS

- 2.1 Failure to comply with any condition of approval shall be deemed just cause for revocation of the final map by the City Council.
- 2.2 The project shall proceed only in accordance with approved plans on file in the Planning Division, the conditions contained herein and the Chino Municipal Code.
- 2.3 Approval of this request shall not waive compliance with any section of the Chino Municipal Code, all other applicable City ordinances, and applicable specific plans in effect at the time of building permit issuance.
- 2.4 Pursuant to Government Code Section 66020, the applicant is informed that the 90-day period in which the applicant may protest the fees, dedications, reservation or other exaction imposed on this project through the conditions of approval has begun.
- 2.5 In the event that any condition contained herein is determined to be invalid or legally unenforceable, then all remaining conditions shall remain in force.

DEVELOPMENT SERVICES DEPARTMENT PLANNING DIVISION

CONDITIONS OF APPROVAL

FILE NO.: PL25-0084 (TPM No. 20988)

DATE: September 17, 2025

- 2.6 In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the project sponsors and/or other parties in an action filed in a court of law or threatened to be filed therein, which action is brought within the time period provided for by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the applicable section of the entire project shall be reviewed by the City and substitute conditions may be imposed.
- 2.7 The applicant shall indemnify the City and its elected boards, commissions, officers, agents and employees and will hold and save them and each of them harmless from any and all actions, claims, liabilities, losses, damages, penalties, obligations and expenses, including but not limited to attorneys' fees and costs, (collectively "claims") against the City for any such claims and shall be responsible for any judgment arising therefrom. The City shall provide the applicant with notice of the pendency of such action and shall request that the applicant defend such action. The applicant may utilize the City Attorney's office or use legal counsel of its choosing, but shall reimburse the City for any necessary legal cost incurred by City, including for the City's required participation in defense of the claims. The applicant shall provide a deposit in the amount of 100% of the City's estimate, in its sole and absolute discretion, of the cost of litigation, including the cost of any award of attorney's fees, and shall make additional deposits as requested by City to keep the deposit at such level. If the applicant fails to provide or maintain the deposit, the City may abandon the action and the applicant shall pay all costs resulting therefrom and City shall have no liability to the applicant.
- 2.8 Any change of use in the project shall be reviewed by the Development Services Department for compliance with CEQA.
- 2.9 Pursuant to Public Resources Code Section 21089 and Fish and Wildlife Code Section 711.4, the developer shall provide those fees marked [X] below in the form of a check made payable to the **San Bernardino County Clerk of the Board of Supervisors** within 5 days of Planning Commission approval. **Project approval shall not be complete until the required fee(s) is (are) paid:**

[X] \$50 for the Notice of Exemption filing fee.

3.0 PRIOR TO RECORDATION OF THE FINAL MAP:

- 3.1 All conditions of approval shall be completed to the satisfaction of the Director of Development Services.

PUBLIC WORKS "DRAFT" CONDITIONS OF APPROVAL

TRACT MAP NO. PM 20988

DATE: August 21, 2025 PC MEETING DATE: September 17, 2025

PROJECT DESCRIPTION: Proposed Parcel Map to subdivide 9.06 Acres into three parcels

PROJECT LOCATION: 14022 Cypress Avenue

APPLICANT: PLC Communities PROJECT ENGINEER: Jorge Alvarado

THE APPLICANT SHALL SATISFY AND FULFILL ALL CONDITIONS OUTLINED BELOW. FAILURE TO COMPLY WITH ANY CONDITIONS OF APPROVAL SHALL BE DEEMED JUST CAUSE FOR REVOCATION OF PROJECT APPROVAL BY THE PLANNING COMMISSION. HOWEVER, THE PUBLIC WORKS DIRECTOR SHALL HAVE THE AUTHORITY TO APPROVE MINOR DEVIATIONS IN THE CONDITIONS OF APPROVAL, AND ALL PLANS INCLUDING THE CONSTRUCTION DRAWINGS.

- 1.1 Provide a preliminary Title Report no older than 60 days.
- 1.2 Make the following dedications:

<u>Street Name</u>	<u>Distance</u>	<u>Direction From C/L</u>
<u>Edison Avenue</u>	<u>22 Feet</u>	<u>North</u>

- 1.3 Provide a Monumentation Bond in an amount specified in writing by a Registered Engineer or Licensed Land Surveyor of Record.
- 1.4 Comply with all applicable requirements of the City Municipal Code.
- 1.5 Pay all applicable fees pursuant to City Municipal Code.
- 1.6 Record Tract Map No. 20988 pursuant to the Subdivision Map Act and in accordance with City Municipal Code. Provide a duplicate photo Mylar of the recorded map to the City Engineer's office.
- 1.7 All required plans and studies shall be prepared by a Registered Professional Engineer/Land Surveyor and submitted to the project engineer for review and approval. All project plans must be approved by the City Engineer's office before a Building Permit will be issued. All maps, studies, calculation sheets, reports, etc. must be on and/or folded in an 11-inch x 8 1/2-inch standard format.
- 1.8 All public street corners shall have a minimum curb radii per City Municipal Code, Chapter 19.06 and City Standards and Specifications.
- 1.9 Submit to the City a letter from the surveyor indicating monuments required for the map have been set and they have been fully paid for their services.
- 1.10 Submit to the City, electronic files of Tract/Parcel Map in AUTOCAD, Esri GIS shape and Adobe Acrobat PDF formats. AUTOCAD files shall be submitted as an e-transmitted zip file of the CAD drawings with all base files attached. Scanned resolution of PDF shall be a minimum of 360 dpi.

**CITY OF CHINO
PUBLIC WORKS DEPARTMENT
DEVELOPMENT ENGINEERING DIVISION**

TRACT MAP NO. 20988

PROJECT ENGINEER: Jorge Alvarado

DATE: 8/21/2025

**A COPY OF THIS CHECK LIST MUST BE PROVIDED ALONG WITH A COMPLETED PLAN CHECK REVIEW APPLICATION TO THE
ENGINEERING TECHNICIAN WHEN MAKING AN APPOINTMENT FOR FIRST PLAN CHECK SUBMITTAL**

- ☒ Copy of Development Engineering Division Conditions of Approval
- ☒ Plan Check Fee Calculation Form
- ☒ Maps (Subdivision Only)
- ☒ Preliminary Title Report (no older than six months) (Subdivision Only)
- ☒ Closure Calculations (Subdivision Only)
- ☒ Referenced Maps (Subdivision Only)
- ☐ Preliminary Soils Report (no older than sixty days)
- ☐ Lot line adjustment certificate
- ☐ Lot merger
- ☐ Right-of-way dedication
- ☐ Rough Grading Plans
- ☐ Precise Grading Plans
- ☐ Storm Drain Plans
- ☐ Hydrology and Hydraulic Calculations with Backup Data (Signed and Sealed by a Registered Civil Engineer)
- ☐ Engineering Cost Estimate (On City Forms) with Engineer's Wet Signature and Stamp
- ☐ Street Improvements Plans
- ☐ Copies of Cross-Sections (if street plans are required) at 50' intervals and extended a minimum of 100' beyond limits of improvements
- ☐ Sewer Plans
- ☐ Domestic Water Plans
- ☐ Recycled Water Plans
- ☐ Street Light Plans including a Photometric Diagram
- ☐ Voltage Drop Calculations (Signed and Sealed by a Registered Engineer)
- ☐ Signing and Striping Plans
- ☐ Traffic Signal Interconnect Plans
- ☐ Traffic Signal Plans
- ☐ Water Quality Management Plan

UTILITIES

ELECTRIC:
SOUTHERN CALIFORNIA EDISON
1351 E FRANCOIS STREET
ONTARIO, CA 91761
(800) 655-4555

SOLID WASTE:
WASTE MANAGEMENT
13793 REDWOOD STREET
CHINO, CA 91710
(800) 423-9986

CABLE:
SPECTRUM
4036-J GRAND AVE
CHINO, CA 91710
(866) 874-2389

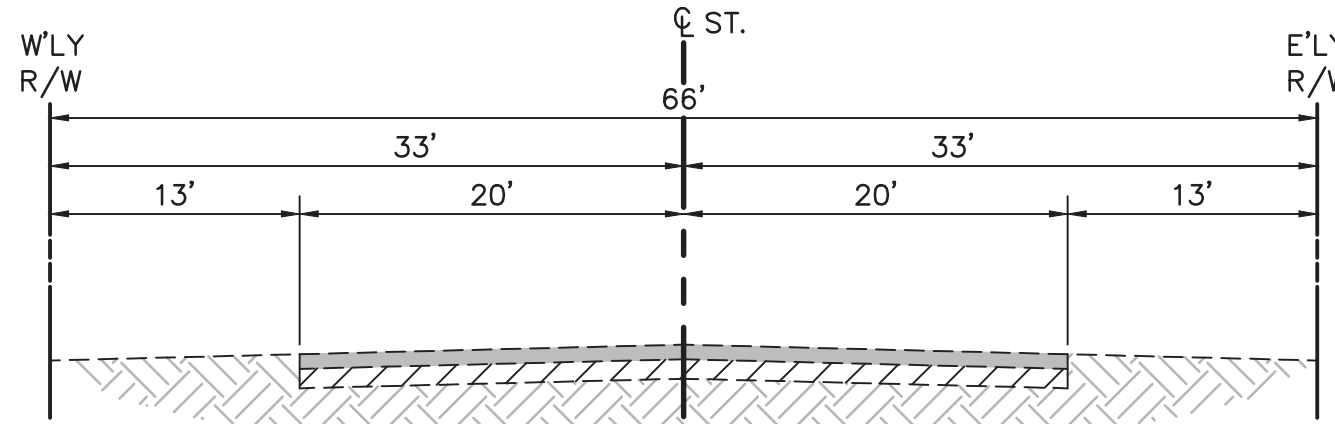
WATER & SEWER:
CHINO CITY UTILITIES AND WATER SERVICES
13220 CENTRAL AVENUE
CHINO, CA 91710
(909) 334-3264

GAS:
SOUTHERN CALIFORNIA GAS COMPANY
13220 CENTRAL AVENUE
CHINO, CA 92710
(909) 628-1234

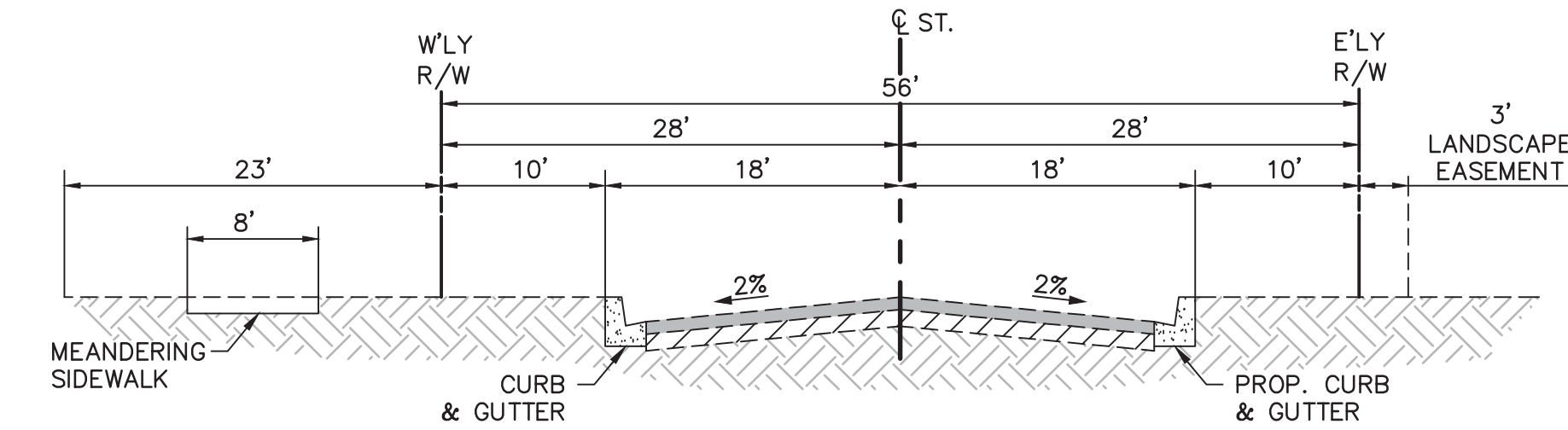
TELEPHONE:
SPECTRUM
4036-J GRAND AVE
CHINO, CA 91710
(866) 874-2389

LEGEND

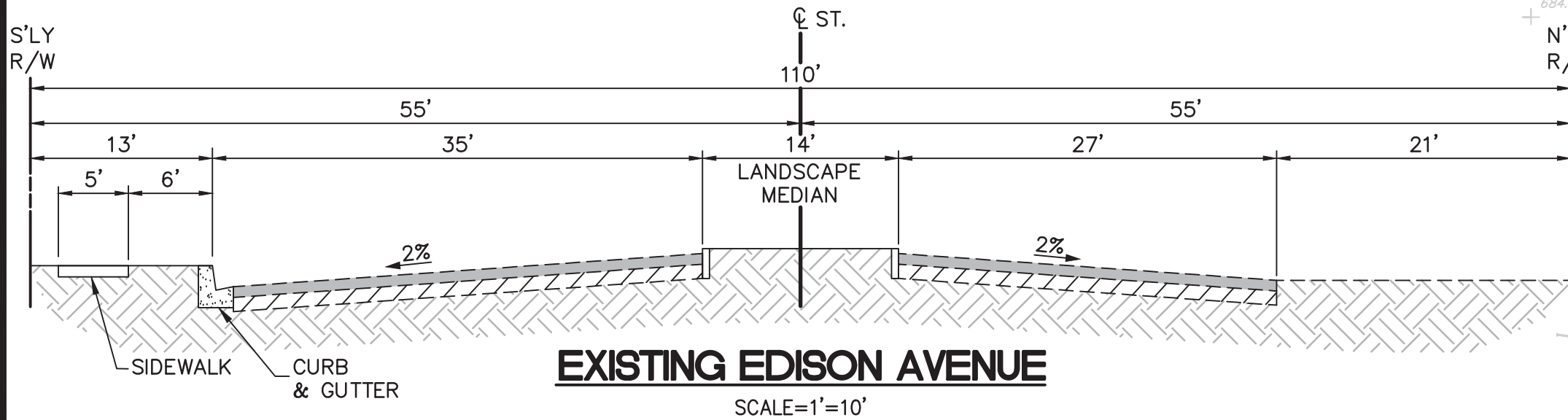
PROPOSED PROPERTY LINE
STREET CENTER LINE
EXISTING EASEMENT
SINGLE FAMILY DWELLING S.F.D.



EXISTING CYPRESS AVENUE
SCALE=1'=10'



EXISTING AMSTERDAM AVENUE
SCALE=1'=10'



EXISTING EDISON AVENUE
SCALE=1'=10'

APPLICANT/DEVELOPER

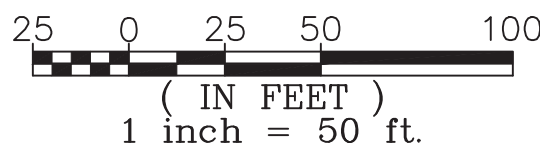
LOUIS AGUERRE AND ANGELA AGUERRE
TRUSTEES OF THE LOUIS B AGUERRE FAMILY TRUST
14022 CYPRESS AVENUE
CHINO, CA 91710

ENGINEER

MDS CONSULTING
5 PETERS CANYON ROAD
SUITE 305
IRVINE, CA 92606
(949) 251-8821
WWW.MDSCONSULTING.NET
PLANNERS ENGINEERS SURVEYORS

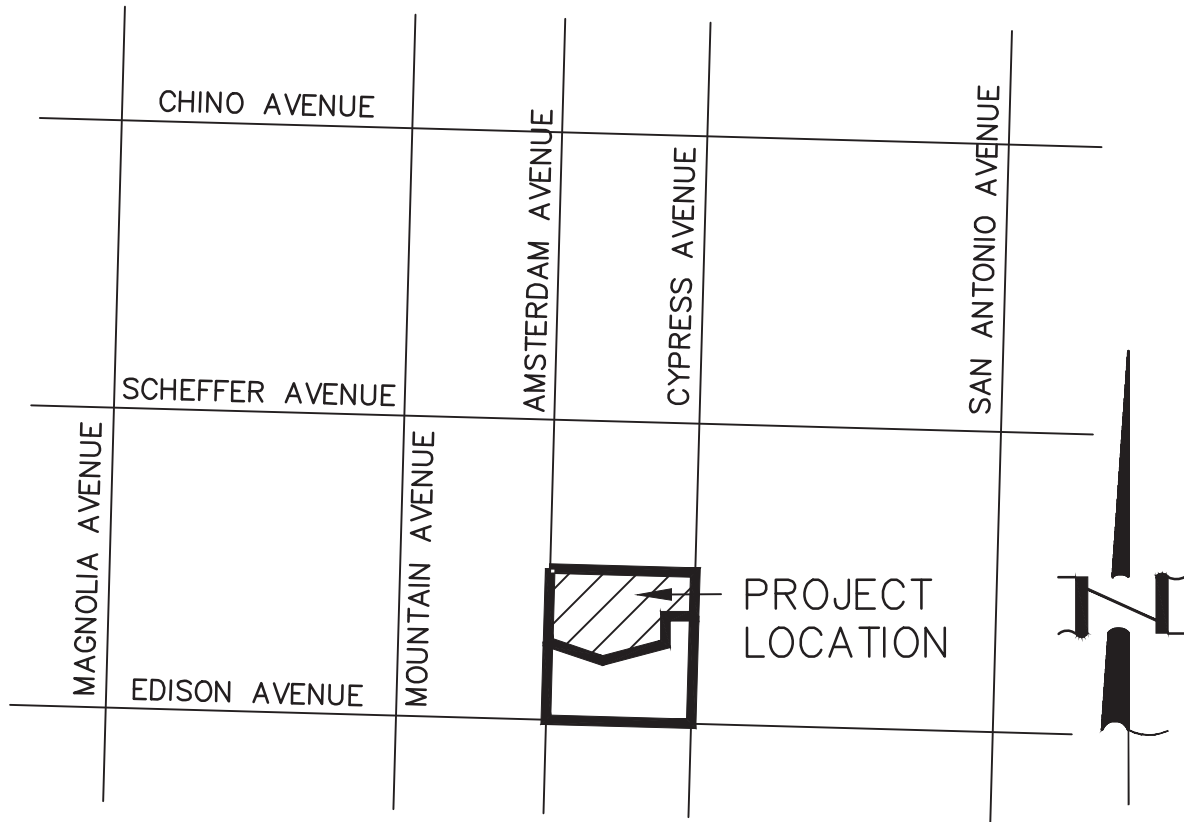
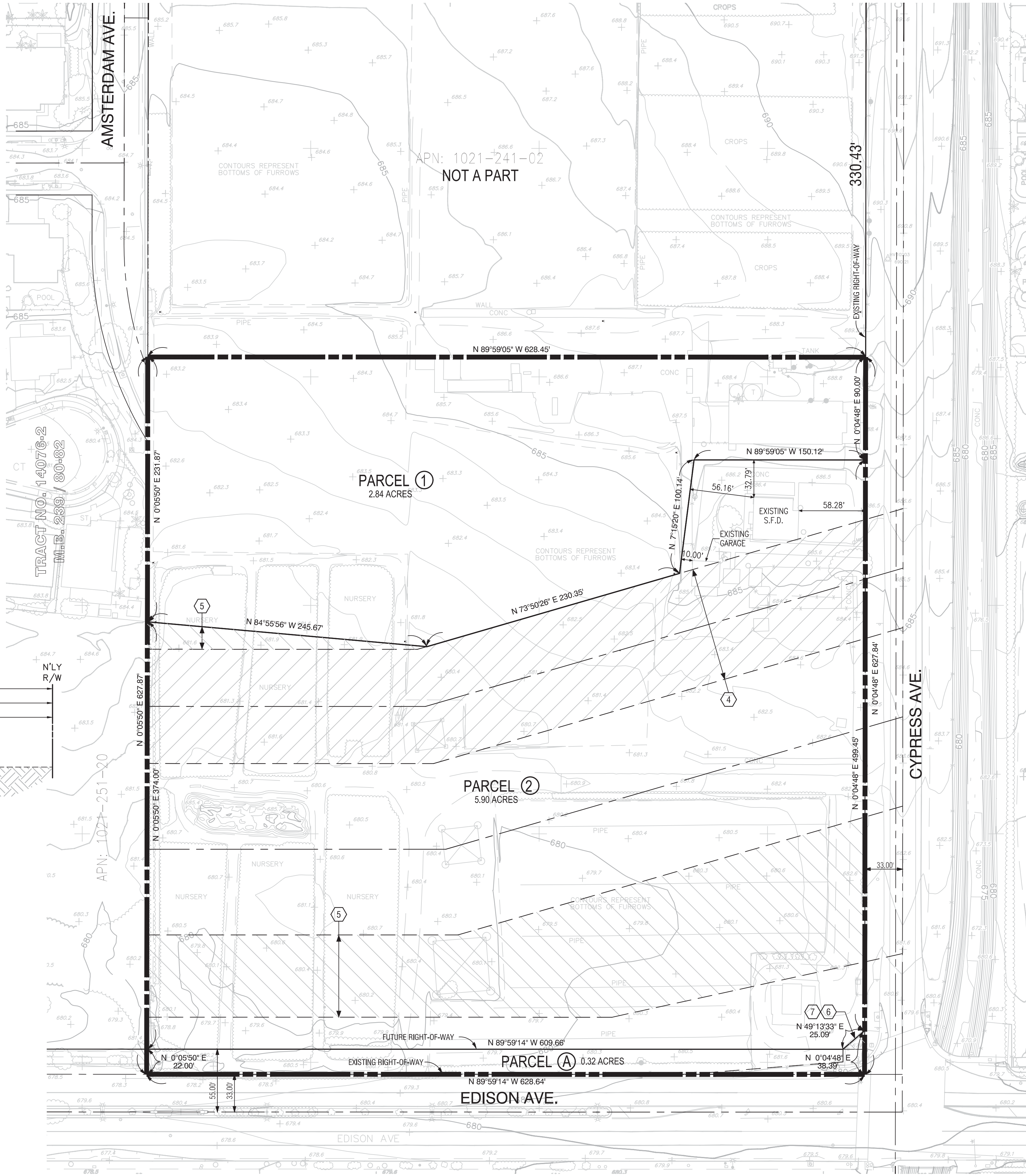


EDWARD J. LENTH RCE 052496
EXP. DATE: DECEMBER 31, 2026
DATE: 7/16/2025



DATE	NO.	REVISIONS

TENTATIVE PARCEL MAP NO. 20988
FOR FINANCE PURPOSE ONLY
CITY OF CHINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA



VICINITY MAP

GENERAL INFORMATION

1. LAND USE: SINGLE FAMILY RESIDENTIAL AND AGRICULTURE
2. EXISTING ZONING: EAST CHINO SPECIFIC PLAN: RD 4.5 (4.5 DU/AC)
3. EXISTING GENERAL PLAN: EAST CHINO SPECIFIC PLAN: RD 4.5 (4.5 DU/AC)
4. PROPOSED LAND USE: SINGLE-FAMILY DETACHED RESIDENTIAL
5. PROPOSED ZONING: EAST CHINO SPECIFIC PLAN: RD 4.5
6. PROPOSED GENERAL PLAN: EAST CHINO SPECIFIC PLAN: RD 4.5
7. ADJACENT LAND USES: NORTH: SINGLE-FAMILY RESIDENTIAL
EAST: CYPRESS AVE./SINGLE-FAMILY RESIDENTIAL
SOUTH: AGRICULTURE
WEST: SINGLE-FAMILY RESIDENTIAL
8. PARCEL A, EDISON AVENUE, TO BE DEDICATED TO THE CITY OF CHINO FOR STREET AND PUBLIC UTILITY PURPOSES.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CHINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
PARCEL B:
LOT 32, SECTION 13 TOWNSHIP 2 SOUTH, RANGE 8 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO MAP OF SUBDIVISION OF PART OF RANCHO SANTA ANA DEL CHINO, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT THEREOF RECORDED IN BOOK 6 PAGE 15 OF MAPS, RECORDS OF SAID COUNTY. TOGETHER WITH SOUTH HALF OF LOT 17, SECTION 13, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO MAP OF SUBDIVISION OF PART OF RANCHO SANTA ANA DEL CHINO, IN THE COUNTY OF SAN BERNARDINO, RECORDS OF SAID COUNTY. TOGETHER WITH A 1/2 INTEREST IN THE WELL AND PUMPING PLANT LOCATED ON THE NORTH 1/2 OF LOT 17.

APN: 1021-251-01-000

PROPOSED LAND USE SUMMARY

PARCEL	LAND USE	AREA (AC)	PERCENT(%)
1	AGRICULTURE	2.84 AC	31.3%
2	AGRICULTURE	5.90 AC	65.1%
A	AGRICULTURE	0.32 AC	3.6%
TOTAL GROSS ACREAGE		9.06 AC	100.0%

EXISTING EASEMENT

- 4 EXISTING 100' EASEMENT DECEMBER 11, 1940 GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY PER PUBLIC UTILITIES RECORDED, INSTRUMENT NO. 11, IN BOOK 1446, PAGE 137 OF O.R. IN THE COUNTY OF SAN BERNARDINO, TO REMAIN.
- 5 EXISTING VARIABLE WIDTH EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY, FOR PUBLIC UTILITIES, RECORDED APRIL 4, 1946, INSTRUMENT NO. 24 AND 27, IN BOOK 1895, PAGE 67, OF O.R. IN THE COUNTY OF SAN BERNARDINO, TO REMAIN.
- 6 EXISTING VARIABLE WIDTH EASEMENT GRANTED TO CITY OF CHINO, FOR PUBLIC STREET, ROAD AND PUBLIC UTILITIES, RECORDED SEPTEMBER 27, 2001 INSTRUMENT NO 20010441249 PAGE 67, OF O.R. IN THE COUNTY OF SAN BERNARDINO, TO REMAIN.
- 7 EXISTING VARIABLE WIDTH EASEMENT GRANTED TO CITY OF CHINO, FOR PUBLIC STREET, ROAD AND PUBLIC UTILITIES, RECORDED SEPTEMBER 27, 2001 INSTRUMENT NO 20010441248 PAGE 67, OF O.R. IN THE COUNTY OF SAN BERNARDINO, TO REMAIN.

OWNER

LOUIS AGUERRE AND ANGELA AGUERRE
TRUSTEES OF THE LOUIS B AGUERRE FAMILY TRUST
14022 CYPRESS AVENUE
CHINO, CA 91710

APPLICANT/DEVELOPER

PLC COMMUNITIES
888 SAN CLEMENTE DRIVE, SUITE 200
NEWPORT BEACH, CA 92660
CONTACT: BILL HOLMAN

ENGINEER

MDS CONSULTING
5 PETERS CANYON ROAD, SUITE 305
IRVINE, CA 92606
PHONE: (949) 251-8821
CONTACTS: EDWARD LENTH
BOB ZOLLER

DATE PREPARED: JULY 16, 2025
SHEET 1 OF 1

**MEMORANDUM
CITY OF CHINO
DEVELOPMENT SERVICES DEPARTMENT**

PLANNING COMMISSION MEETING DATE: SEPTEMBER 17, 2025

PL24-0133 (Site Approval)

LOCATION MAP



PROJECT NO.: PL24-0133 (Site Approval)

APPLICANT: Chino Preserve Development Corporation

REQUEST: A request to construct 93 single-family detached condominium dwelling units on 6.48 adjusted gross acres of land at a density of 14.35 dwelling units per acre in the Community Core 16 (CC 16) land use designation of The Preserve Specific Plan.

LOCATION: West of Main Street, north of Legacy Park Street (APNs: 1057-181-21 and -37).

RECOMMENDATION

Adopt Planning Commission Resolution No. PC2025-024, approving PL24-0133 (Site Approval), based upon the findings and subject to the departmental conditions of approval.

SURROUNDING ZONING AND LAND USE:

	<i>Existing Land Use</i>	<i>General Plan</i>	<i>Zoning District</i>
Project Site -	Vacant	Community Core 16 (CC 16)	The Preserve Specific Plan
North -	Vacant	Community Core 16 (CC 16)	The Preserve Specific Plan
East -	Vacant	Community Core 16 (CC 16)	The Preserve Specific Plan
South -	Vacant	Community Core 16 (CC 16) & Medium Density Residential (MDR)	The Preserve Specific Plan
West -	Vacant	High Density Residential 16 (HDR 16) & High Density Residential 30 (HDR 30)	The Preserve Specific Plan

BACKGROUND

On February 13, 2008, the Planning Commission approved an “A” level Master Site Approval (MSA No. 2006-02) and Tentative Tract Map (TTM) No. 16420 to subdivide approximately 514 acres of land for future development of a variety of residential, commercial, institutional, mixed use, and open space recreational land uses for the South of Pine master plan area within The Preserve Specific Plan (PSP). On February 23, 2022, the Planning Commission approved modifications to both MSA 2006-02 and TTM 16420, modifying underlying conditions of approval and rectifying the inconsistencies between the MSA and TTM that resulted when The PSP was updated in 2021. On May 15, 2024, the Planning Commission approved a “B” level MSA (PL23.0043) to further master plan 39.29-acres of land, a portion of the South of Pine master plan area for future residential development of 866 residential units, known as Block 8 master plan area. The applicant, Chino Preserve Development Corporation, is now requesting approval of a Site Approval (PL24-0133) to construct 93 detached single-family units. The previous Public Works and Fire District conditions of approval for Tract 16420 shall apply to this development, which require dedications and public improvements for access, streets, drainage, and utility systems.

On June 27, 2024, the applicant submitted a preliminary application under the provisions of Senate Bill 330, the Housing Crisis Act (SB 330). SB 330 was adopted by the State in 2019 to, among other things, provide more certainty to housing developers by allowing them to lock in the standards and fees that apply to their projects. Subject to limited expectations, filing a preliminary application locks in the development standards that are in place on the day the preliminary application is filed.

ISSUES/ANALYSIS

Site Design

The project site is located within The Preserve Specific Plan area, west of Main Street, north of Legacy Park Street, at the southeastern portion of the Block 8 Master Plan Area. The project consists of 93 single-family detached condominium homes on 6.48 adjusted gross acres of land at a density of 14.35 units/acre in the Community Core 16 (CC 16) land use designation of The Preserve Specific Plan.

Primary access to the neighborhood is provided from Main Street and Legacy Park Street. Internal circulation is provided via 26-foot-wide private drives, with on-street parking provided where available. The project is designed with three-story single-family detached condominium homes. The homes are designed to front Main Street and Legacy Park Street, or front an internal private drive aisle. Each home has a two-car garage facing a private alley. The neighborhood is designed with two points of pedestrian access to Main Street via a landscaped paseo on the northern portion of the site and a sidewalk which is more southerly located.

Project statistics are as follows:

<i>Item</i>	<i>Proposed</i>
Project Area -	6.48 adjusted gross acres
No. of Residential Units	93
Density	14.35 dwelling units per acre
Lot Coverage	36%
Landscape Coverage	29%
Parking (proposed/required)-	251 proposed/196 required (186 garage spaces + 65 guest spaces)

Architecture and Floor Plans

There are a total of three floor plans and three architectural styles proposed for this project. Floor plans range in size from 2,000 square feet to 2,211 square feet. Enhanced elevations are provided on all public facing elevations, including elevations that side onto a public street, private drive, or paseo.

The three architectural styles proposed include Adaptive Farmhouse, Industrial, and Mainstreet. The following is a brief description of each architectural style:

- **Adaptive Farmhouse**: This style utilizes a combination of stucco and board and batten horizontal and vertical wood siding, gabled ends with wood siding, steep roof pitches, and decorative shutters. Enhanced entries have bold trim elements. Decorative front doors, panel pattern garage doors and decorative light fixtures are provided to match the architectural style. A flat concrete tile roof is provided. The paint choice features white trim over darker blue and gray field shades, and brown trim over tan field shades, to create a contrast.
- **Industrial**: This style utilizes a combination of stucco finish, fiber cement siding accents, and an asymmetrical façade with cantilevered projections. It features decorative metal railing at the balconies, multi-paned windows with foam trim, metal awnings, and a recessed entry. Stone veneer accents are also provided on all three plans. Decorative

front doors, panel pattern garage doors and decorative light fixtures are provided to match the architectural style. A flat tile roof is provided in addition to a parapet roof. Regret control joints have also been added to the stucco to provide a banding effect. The paint choice features white trim over darker gray field shades, to create a bold and contemporary style.

- **Mainstreet:** This style utilizes a combination of stucco finish with brick veneer accents on all three plans and boxed out trim detail at focal windows. It features decorative cornice accents with dentils, multi-paned windows with foam trim, and a shallow recessed entry. Decorative front doors, panel pattern garage doors and decorative light fixtures are provided to match the architectural style. Field colors of this style vary from tan to warm colors, and accent colors are various shades of white and brown. Regret control joints have also been added to the stucco to provide a banding effect. A flat concrete tile roof is provided for this style.

Design Review Board (DRB)

This project is a repeat product of PL24-0096 (Site Approval) located within the Block 11 master plan area, with similar colors to match, previously reviewed by the Design Review Board (DRB) on March 3, 2025. The project was well received and the DRB recommended approval of the project to the Planning Commission, which the Commission approved on March 19, 2025.

Landscaping, Walls, and Private Open Space

There is no minimum landscape coverage requirement for the CC 16 land use designation; however, the project is providing a landscape coverage of 29%, which is consistent with other approved residential projects of this density. Landscaping through the development has a drought tolerant design, primarily located along Main Street, Legacy Park Street, the private drive aisles, and the internal paseos. Landscaping will be maintained by the private Homeowner's Association (HOA). Each unit is required to have a minimum private open space (POS) of 100 square feet with a minimum dimension of 5 feet. All units meet or exceed the POS requirements by providing front yard patios, interior side yards and/or second story decks.

A six-foot-high decorative block wall with 24-inch and 16-inch pilasters is located at the western perimeter of the tract, and six-foot high decorative block walls will enclose private side yard open space for some end units. Three-foot-high low stucco courtyard walls with vinyl gates will be provided for units fronting onto Main Street, Legacy Park Street, and the internal paseos. Vinyl privacy fences will be provided between properties, located in the side yard areas, outside of public view.

Residents will have access to a recreation center, known as the Club on Main, located at the southeast corner of Main and Legacy Park Streets. The recreation center includes a tennis court, half basketball courts, volleyball court, swimming pool, spa, clubhouse, and fitness center. Construction is anticipated to begin later this year and completed by 2026.

Parking

A two-car garage is provided for each home. Guest parking is required at one space for every 10 units, resulting in a total of 10 required guest parking spaces. A total of 65 guest parking spaces are provided, which exceeds the required guest parking. Additional parking spaces, that are not included in the overall guest parking count, are provided along Main Street. Overall, the total number of parking spaces provided exceeds the parking requirements of The Preserve Specific Plan with a total parking count of 251 parking spaces, which is 2.70 parking spaces per unit (186 garage spaces and 65 guest parking/local street spaces).

Public Noticing

A 10-day notice was mailed to all property owners within a 300-foot radius of the project site. In addition, a notice was published in the *Chino Champion* on September 6, 2025, and the City sent information out on the City's social media platforms. In response to the public notice, no comments have been received. The notice exceeds legal noticing requirements.

ENVIRONMENTAL REVIEW

The project is within the scope of the previously adopted Addendum to The Preserve Chino Sphere of Influence – Subarea 2 Final Environmental Impact Report (SCH# 2000121036) (EIR) for South of Pine Update 2022, which adequately describes the proposed activity for the purposes of California Environmental Quality Act (CEQA), pursuant to Section 15164 of CEQA Guidelines. Additionally, there have been no substantial changes in the project since it was originally assessed under the Addendum, or no substantial new information that was not previously known when the project was originally assessed under the Addendum. No further action under CEQA is required.

RESOLUTION NO. PC2025-024

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO, CALIFORNIA, APPROVING PL24-0133 (SITE APPROVAL) FOR APPROVAL TO CONSTRUCT 93 SINGLE-FAMILY DETACHED CONDOMINIUM DWELLING UNITS ON 6.48 ADJUSTED GROSS ACRES OF LAND AT A DENSITY OF 14.35 DWELLING UNITS PER ACRE IN THE COMMUNITY CORE 16 (CC 16) LAND USE DESIGNATION OF THE PRESERVE SPECIFIC PLAN LOCATED WEST OF MAIN STREET, NORTH OF LEGACY PARK STREET (APNS: 1057-181-21 AND -37).

WHEREAS, the City of Chino (the “City”) adopted the Preserve Specific Plan on March 25, 2003; and

WHEREAS, on February 13, 2008, the Planning Commission approved an “A” level Master Site Approval (MSA No. 2006-02) and Tentative Tract Map (TTM) No. 16420 for the approval to master plan and subdivide approximately 514 acres of land for the future development of a variety of residential, commercial, institutional, mixed use, and open space recreational land uses for the South of Pine master plan area within The Preserve Specific Plan; and

WHEREAS, on February 23, 2022, the Planning Commission approved modifications to both the MSA 2006-02 and TTM 16420, modifying underlying conditions of approval and rectifying the inconsistencies between the MSA and TTM that resulted when The Preserve Specific Plan (PSP) was updated in 2021; and

WHEREAS, on May 15, 2024, the Planning Commission approved a “B” level MSA (PL23-0043) to further master plan 39.29-acres of land, a portion of the South of Pine master plan area for future residential development of 866 residential units, known as Block 8 master plan area; and

WHEREAS, Chino Preserve Development Corporation (the “Applicant”), has filed an application with the City of Chino (the “City”) for approval of PL24-0133 (Site Approval) (the “Project”) to construct 93 single-family detached condominium dwelling units on 6.48 adjusted gross acres of land at a density of 14.35 dwelling units per acre in the Community Core 16 (CC 16) land use designation of The Preserve Specific Plan located west of Main Street, north of Legacy Park Street (APNs: 1057-181-21 and -37); and

WHEREAS, the Planning Commission of the City of Chino has completed its study of the proposed Project; and

WHEREAS, on September 17, 2025, the Planning Commission held a duly noticed public hearing for the Project in compliance with law, including compliance with the relevant

provisions of the California Government Code and Chino Municipal Code, entertained the written and oral report of staff, and took public testimony on the Project; and

NOW, THEREFORE, the Planning Commission of the City of Chino, California, does hereby FIND, DETERMINE, and RESOLVE as follows:

A. The foregoing recitals are true and correct and incorporated herein.

B. Based on substantial evidence, both written and oral, from the public hearing, the Planning Commission makes the following findings and takes the following actions on PL24-0133 (Site Approval):

1. *PL24-0133 (Site Approval)*

- a. The proposed Project is consistent with the goals and policies of the City's adopted General Plan and/or applicable specific plan(s). The Project meets General Plan, Goal LU-1.1, which encourages a variety of housing types that meet the housing needs of residents of all income levels in Chino. Further, the Project is located in the CC16 land use designation of The Preserve Specific Plan and is in compliance with The Preserve Specific Plan development standards and design guidelines;
- b. The proposed Project is permitted within the zoning district in which it is proposed and complies with all applicable provisions of the City's Zoning Code. The Project is a proposal for the development of 93 detached single-family homes on 6.48 adjusted gross acres of land at a density of 14.35 dwelling units per acre (du/ac), which is within the allowable density range (12-20 du/ac) of the CC 16 land use designation of The Preserve Specific Plan;
- c. The subject site is physically suitable, including, but not limited to, parcel size, shape, access and availability of utilities, for the type and intensity of development proposed, as all minimum zoning requirements governing parcel size, shape, access, type and intensity of development have been met or exceeded. The proposed Project is consistent with the development standards and guidelines for uses within the CC 16 land use designation of The Preserve Specific Plan, The Preserve Design Guidelines, and the City Zoning Code;
- d. The subject site relates to streets and highways property designed, both as to width and type of pavement to carry the type and quantity of traffic generated by the proposed Project, as necessary street and roadway improvements for Main Street, Legacy Park Street, and internal roadways are required to be improved as part of the development;
- e. The proposed Project is compatible with those on abutting properties and in the surrounding neighborhood, as the adjacent future land uses to the

Project include residential uses of similar size and density to the north, south, east, and west;

- f. The proposed location, size, and operating characteristics of the proposed Project will not be detrimental to the public interest, health, safety or general welfare, as the Project is consistent with the CC 16 land use designation of The Preserve Specific Plan and surrounding uses. In addition, certain safeguards have been required of the proposed Project, which the Planning Commission deems necessary to protect the public health, safety, and general welfare. These safeguards (Conditions of Approval) are attached hereto as Exhibit "A";
 - g. The proposed Project is within the scope of the previously adopted Addendum to The Preserve Chino Sphere of Influence – Subarea 2 Final Environmental Impact Report (SCH# 2000121036) (EIR) for South of Pine Update 2022, which adequately describes the proposed activity for the purposes of California Environmental Quality Act (CEQA), pursuant to Section 15164 of CEQA Guidelines. Additionally, there have been no substantial changes in the project since the adoption of the Addendum, or no substantial new information that was not previously known when the project was originally assessed under the Addendum. The EIR satisfies the requirements of CEQA and the CEQA guidelines (California Public Resources Code §§ 21000 *et seq.*; 14 Cal. Code Regs. §§ 15000 *et seq.*) pursuant to Sections 15080 through 15097 of the CEQA Guidelines such that no subsequent action is required; and
 - h. The minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project and have been imposed as conditions of Project approval by the Planning Commission. In addition, certain safeguards have been required of the Project, which the Planning Commission deems necessary to protect the public health, safety, and general welfare. These safeguards (Conditions of Approval) are attached hereto as Exhibit "A". Further, the Project meets all required development standards and policies pertaining to residential development in the City and The Preserve Specific Plan.
2. *Special Findings of Fact for Projects in the Airport Overflight Area*
- a. The proposed development is consistent with the City's adopted Airport Comprehensive Land Use Plan (ACLUP) and the applicable provisions of the City's Zoning Ordinance, in that the proposed Project is located within Aviation Safety Zone III, and the proposed use, which consists of residential development, is considered a normally acceptable use within said zone.

3. *Guiding Development Principles*

- a. *The Project contributes directly to a broad range of housing types and opportunities.* The proposed Project contributes to a broad range of housing types by providing a total of 93 detached residential condominium homes.
- b. *The Project is characterized by design features that contribute to the quality and variety of the living environment.* The proposed Project integrates design features such as paseos and streets that provide pedestrian access and connectivity to all areas within the site and to areas of existing and future development. All proposed paseos, pedestrian and landscape linkages will be developed in accordance with the General Plan and The Preserve Specific Plan requirements.
- c. *The Project contributes to and does not detract from the character and viability of the Community Core.* The proposed Project is located in the Community Core and designed with 93 detached residential condominium homes. The orientation of the residential layout will not detract from the character and viability of the Community Core but will provide a customer base for the Community Core.
- d. *The Project implements and is consistent with the land use concept in the plan.* The proposed Project is consistent with the land use concept of The Preserve Specific Plan, and includes continuity, compatibility, and connectivity within and between the site, neighboring development, and areas that may be developed in the future. Additionally, the Project is a proposal for the development of a residential community consisting of 93 detached single-family homes on 6.48 adjusted gross acres of land at a density of 14.35 dwelling units per acre, which is within the allowable density range (12-20 du/ac) of the CC 16 land use designation of The Preserve Specific Plan.

4. *Compatibility Findings*

- a. *The Project complies with the provisions of The Preserve Specific Plan including the Guiding Development Principles listed in the Development Concept section.* These findings have been met and are included in Section 3 – Guiding Development Principles of this Resolution.
- b. *The mobility systems are consistent and seamlessly connect with the mobility systems of adjacent properties.* The proposed Project provides a street and pedestrian layout that is consistent with the requirements and development standards of The Preserve Specific Plan. The Project will utilize and improve existing roadways and will create new public streets and private drive aisles within the Project area.

- c. *Areas intended for public use, such as public plazas, trails, sidewalks, schools, recreational facilities and paseos, are coordinated among subdivisions and the streetscape, landscape, hardscape and public amenities are mutually compatible.* The proposed Project ensures that the areas intended for public use have been coordinated throughout the site by providing sidewalks to serve as a pedestrian link to all areas in The Preserve. The proposed streetscape, landscape and public amenities are mutually compatible. Further, the Applicant is proposing to install perimeter landscaping within and around the site, consistent with the landscaping standards in The Preserve Specific Plan, which will provide an aesthetically pleasing streetscape.
 - d. *The development proposal complies with the applicable design guidelines of this specific plan and is compatible with surrounding areas, including, but not limited to building design and placement, colors, materials, height, bulk and the design of paseos, trails and other public facilities.* The proposed Project complies with The Preserve Specific Plan and will facilitate the development of a 93-unit residential community. The proposed development complies with The Preserve Design Guidelines.
 - e. *Consideration and application of public safety and security are incorporated into the project design.* The proposed Project will provide for public safety and security through its adherence to State and City public works and engineering standards for roadways and infrastructure. The Project will include adequate lighting on all streets and paseos to ensure public safety when development occurs.
5. *CEQA Findings.* The Planning Commission finds that the environmental documentation is adequate and conforms with the provisions of CEQA. The Planning Commission finds that the Project has already been assessed by the City. The Project is within the scope of the previously adopted Addendum to The Preserve Chino Sphere of Influence – Subarea 2 Final Environmental Impact Report (SCH# 2000121036) (EIR) for South of Pine Update 2022, which adequately describes the proposed activity for the purposes of California Environmental Quality Act (CEQA), pursuant to Section 15164 of CEQA Guidelines. Additionally, there have been no substantial changes in the project since it was originally assessed under the Addendum, or no substantial new information that was not previously known when the project was originally assessed under the Addendum. No further action under CEQA is required.
6. *Approval of PL24-0133 (Site Approval).* The Planning Commission hereby approves PL24-0133 (Site Approval) subject to the Conditions of Approval attached hereto as Exhibit “A”. Applicant, including its successors and assigns, shall be responsible for implementing and complying with all conditions set forth in Exhibit “A”.

7. *Actions by the Planning Commission Secretary.* The Planning Commission Secretary is hereby directed to attest to the adoption of this Resolution as of the date set forth below and forthwith transmit a copy of this Resolution, by regular mail, to the Applicant at the address of record set forth in the Application.

PASSED, APPROVED, AND ADOPTED THIS 17TH DAY OF SEPTEMBER 2025.

PLANNING COMMISSION CHAIRPERSON

ATTEST:

SECRETARY, PLANNING COMMISSION

State of California)
County of San Bernardino) §
City of Chino)

I hereby certify the foregoing Resolution was duly adopted by the Chino Planning Commission at a meeting held on the 17th day of September 2025 and entered in the minutes of said Commission.

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

SECRETARY, PLANNING COMMISSION

Attachment: Exhibit A – Conditions of Approval

EXHIBIT A

DEPARTMENTAL CONDITIONS OF APPROVAL

DATE: September 17, 2025

PROJECT FILE NO.: PL24-0133 (Site Approval)

LOCATION: West of Main Street, north of Legacy Park Street (APNs: 1057-181-21 and -37)

APPLICANT: Chino Preserve Development Corporation

The departments listed below have reviewed the above referenced application. Those departments marked with an “X” have required conditions of approval to be imposed on the project.

Development Services Department –

- ☒ Planning Division
- ☐ ADA Accessibility Division

Public Works Department –

- ☒ Engineering Division
- ☐ Traffic Division

☒ Chino Valley Independent Fire District

☐ Police Department

☐ Finance Department

☐ Community Services, Parks & Recreation Department

DEVELOPMENT SERVICES DEPARTMENT PLANNING DIVISION CONDITIONS OF APPROVAL

DATE: September 17, 2025

PROJECT FILE NO.: PL24-0133 (Site Approval)

LOCATION: West of Main Street, north of Legacy Park Street (APNs: 1057-181-21 and -37)

APPLICANT: Chino Preserve Development Corporation

1.0 TIME LIMITS:

- 1.1. Project approval shall expire on June 18, 2035, consistent with The Preserve Development Agreement as amended, if building permits are not obtained.

2.0 GENERAL REQUIREMENTS:

- 2.1. Failure to comply with any conditions of approval shall be deemed just cause for revocation of project approval by the Planning Commission.
- 2.2. The project shall proceed only in accordance with approved plans on file with the Development Services Department, the conditions contained herein and the Chino Municipal Code.
- 2.3. Approval of this request shall not waive compliance with all sections of the Chino Municipal Code, all other applicable City ordinances, and applicable specific plans.
- 2.4. Pursuant to Government Code Section 66020, the applicant is informed that the 90-day period in which the applicant may protest the fees, dedications, reservation or other exaction imposed on this project through the conditions of approval has begun.
- 2.5. In the event that any condition contained herein is determined to be invalid or legally unenforceable, then all remaining conditions shall remain in force.
- 2.6. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the project sponsors and/or other parties in an action filed in a court of law, which action is brought within the time period provided for by law, this approval shall be suspended pending dismissal of such action, the expiration of the

DEVELOPMENT SERVICES DEPARTMENT PLANNING DIVISION

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limitation period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the applicable section of the entire project shall be reviewed by the City and substitute conditions may be imposed.

- 2.7. The applicant shall indemnify the City and its elected boards, commissions, officers, agents and employees and will hold and save them and each of them harmless from any and all actions, claims, liabilities, losses, damages, penalties, obligations and expenses, including but not limited to attorneys' fees and costs, (collectively "claims") against the City for any such claims and shall be responsible for any judgment arising therefrom. The City shall provide the applicant with notice of the pendency of such action and shall request that the applicant defend such action. The applicant may utilize the City Attorney's office or use legal counsel of its choosing, but shall reimburse the City for any necessary legal cost incurred by City, including for the City's required participation in defense of the claims. The applicant shall provide a deposit in the amount of 100% of the City's estimate, in its sole and absolute discretion, of the cost of litigation, including the cost of any award of attorney's fees, and shall make additional deposits as requested by City to keep the deposit at such level. If the applicant fails to provide or maintain the deposit, the City may abandon the action and the applicant shall pay all costs resulting therefrom and City shall have no liability to the applicant.
- 2.8. All conditions of approval imposed on Master Site Approval (PL23-0043) and Tentative Tract Map No. 16420 shall be complied with.
- 2.9. The City of Chino has an exclusive contract with Waste Management for all solid waste collection and hauling services within the City. The applicant shall be responsible for making arrangements with Waste Management for disposal of any/all construction debris or trash generated as a result of this permit. Waste Management can be reached at 1-800 423-9986.
- 2.10. The applicant shall comply with all the provisions of the recorded CC&Rs for The Preserve Phases 1 and 2 developments (MSA No. 2003-01).
- 2.11. Wherever there is a conflict between the site approval, tentative tract map, or the Specific Plan, the Specific Plan requirement shall prevail.
- 2.12. Pursuant to Public Resources Code Section 21089 and Fish and Game Code Section 711.4, the developer shall provide those fees marked [X] below in the form of a check made payable to the **San Bernardino County Clerk of the Board of Supervisors** within 5 days of Planning Commission approval. **Project approval shall not be complete until the required fee(s) is (are) paid:**

[X] \$50 for the Notice of Determination filing fee.

3.0 PRIOR TO THE ISSUANCE OF A BUILDING AND/OR GRADING PERMIT:

- 3.1. The developer shall pay development impact fees at the established rate. Such fees may include, but not be limited to, new construction fee, park or open space fees, school fees, drainage fees, sewer fees, building permit and plan check fees.
- 3.2. Comply with the City's "New Home Construction" Ordinance.
- 3.3. Revised plans, incorporating all conditions of approval, shall be submitted for review and approval by the Director of Development Services.
- 3.4. All plans shall be coordinated for consistency.
- 3.5. The developer shall submit two sets of structural plans/construction documents. Said plans shall include one set of structural calculations, one set of Title 24 energy calculations, and one soils report. The developer shall also submit the above documents in digital format to the Building Division once approved.
- 3.6. A construction-phasing plan shall be submitted to and approved by the Deputy Director of Development Services prior to building permit issuance. This plan shall show which homes will be completed in which phases, and how each completed phase will be closed off from phases under construction so as to minimize conflict between construction vehicles, construction equipment, and residents.
- 3.7. A construction management plan shall be submitted for review and approval by the Director of Development Services. The plan shall coordinate and address construction activities that may impact residents on site and in adjacent areas. Elements of the plan would contain, but not be limited to, the following:
 - a. Routing of construction equipment
 - b. Hours of operation
 - c. Dust control
 - d. Vector control
 - e. Vehicle, equipment, and personnel staging
 - f. Pre-construction meetings
 - g. Contractor/subcontractor acknowledgement, obligations, and penalties
 - h. Traffic control and coordination
 - i. Security and interim fencing

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- j. Signs posted on the site with a contact number for the job site construction manager and the City's Code Enforcement Division. Signs shall measure at least four feet by eight feet, and shall be posted along every street frontage. The developer shall contact the City immediately upon any change in contact numbers.
 - k. Building and landscape phasing.
- 3.8. A precise wall plan indicating the design, location and construction details of all walls and fences shall be submitted for review and approval by the Planning and Building Divisions. All walls, including retaining walls, shall be decorative in nature.
- 3.9. Prior to the issuance of any precise grading permit, detailed on-site landscaping and irrigation construction drawings along with a copy of the Planning Commission approved conceptual landscape plans and a copy of the conditions of approval shall be submitted for review and approval by the Director of Development Services. A precise grading permit will not be issued until the City's outside plan checker has completed one review of detailed landscape and irrigation plans for the development. Payment of the Landscape & Irrigation Plan Review Fee shall be due at the time of submittal. Plans shall be prepared to comply with the City's Water Efficient Landscape Ordinance, adopted on October 6, 2015, Ordinance No. 2015-008, meet the requirements for a Landscape Documentation Package in accordance with Section 20.19.030 of the Landscape Ordinance, and shall bear the seal of a landscape architect registered with the state of California. If the site includes areas proposed to be placed within a City-maintained Landscape Maintenance District, then the plans shall be prepared on City of Chino, Engineering Division base sheets, and shall bear the seal of a landscape architect registered with the state of California. Original mylars shall be submitted to the City upon approval of plans by the City Engineer.
- 3.10. Approval of the conceptual landscape plan by the Planning Commission does not constitute final approval. The final landscape approval (during the plan check process and/or following installation) shall be subject to the review and approval of the City's Landscape Architect Consultant and the Director of Development Services. The City Landscape Architect or Director of Development Services may require additional/fewer trees, shrubs, vines, and ground cover as necessary, based on final site conditions during the landscape plan check process or field review process in order to mitigate any site conditions that were not apparent during either the Planning Commission review or plan check review process.
- 3.11. All ground-mounted utilities, including but not limited to cable television facilities, and telephone/fiber optic facilities, shall be undergrounded.

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Equipment that is not placed underground such as SCE transformers, backflow prevention devices, irrigation valves and controllers used for common landscape areas shall be placed in areas out of public view and sufficiently screened. The location and method of screening of said utilities shall be reflected in a plan and shall be subject to the review and approval by the Director of Development Services.

- 3.12. All electrical panels and cabinets shall be completely screened. All electrical panels and cabinets shall be fully enclosed, and integrated into and architecturally compatible with the building to the satisfaction of the Director of Development Services. The locations of the electrical panels and cabinets shall be reflected on a site plan and elevation(s) to be reviewed and approved by the Director of Development Services.
- 3.13. Prior to the issuance of a building permit, the approved grading plans shall be attached to the construction plan set. The project shall be built according to the plans approved by the Planning Commission on September 17, 2025, as prepared by WHA Architects, Planners, Designers, Cannon Engineering, and Sitescapes. Any substantial modification to the project shall require Planning Commission review and approval. If minor in nature, the modification may be reviewed and approved by the Development Services Director.
- 3.14. Upon submittal of construction drawings to the Building Division for plan check review, all departmental conditions of approval for the project shall be included on the sheet following the title sheet, or the first sheet of the plans. A site plan shall also be attached to all sets of construction drawings. This condition shall be a minimum requirement for acceptance of construction drawings for the Building plan check review.
- 3.15. Notification of the existing land use, zoning and general plan land use designation for properties within 1,320 feet of the proposed subdivision, prepared in conformance with Sections 15.40.020 and 5.04.220 of the Chino Municipal Code, shall be submitted for review and approval by the Director of Development Services. The notice shall be posted in the sales office for the development.
- 3.16. Mailboxes shall not interfere with free ingress or egress to the project site. The applicant shall contact the U.S. Postal Service to determine the appropriate type and location of mailboxes. The location and design of mailbox standards shall be indicated on the required landscape and irrigation plans. The design of the mailboxes shall be subject to the review and approval of the Director of Development Services and shall be consistent with the Design Guidelines.

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- 3.17. The applicant shall be responsible for implementation of a homebuyer's orientation program to review the CC&Rs, HOAs, and the disclosure notices. In addition, the applicant shall be responsible for ensuring compliance of the program by all future homebuyers. Said program shall be submitted prior to building permit issuance for City approval.
- 3.18. All landscape areas held in common to the development shall be permanently maintained by a homeowners' association, with proof of such provided to the satisfaction of the Director of Development Services, Planning and Engineering Divisions.
- 3.19. The applicant is required to contact the West Valley Mosquito and Vector Control District to determine if an inspection or field survey of potential vectors and their ectoparasites is necessary. If the District so determines, an inspection or field survey shall be conducted by the District, at the applicant's expense, prior to demolition or grading in order to protect the health of and reduce the risk of neighboring residents to vector-borne diseases. Based on the inspection or survey results, the applicant shall take appropriate vector control methods as recommended by the District.
- 3.20. Special Conditions:
 - 3.20.1. A Water Quality Management Plan shall be prepared in accordance with County of San Bernardino requirements and submitted for review and approval by the City.
 - 3.20.2. Where direct views into second-story windows of adjacent units occur, the applicant shall minimize conflicting views of adjacent units by providing smaller, higher, and/or obscured glass windows for one of the units to create privacy for the adjacent units. Windows shall not be removed unless approved by the Planning Division but shall still remain wherever possible to allow natural light into the affected units. Final window sizes and locations shall be approved by the Planning Division and shall be analyzed at the plan check level.
 - 3.20.3. Prior to issuance of grading permits for each phase of development, the applicant or master developer shall demonstrate to the satisfaction of the Director of Development Services that easements have been obtained within each grading phase for work to be performed on private property not owned by the applicant.
 - 3.20.4. Prior to building and perimeter wall permits, the applicant shall submit specific noise analysis for the project and perimeter wall. The noise analysis shall take into consideration site

development plans and unit layouts. All measures recommended in the analysis shall be incorporated into the construction drawings.

- 3.20.5. The applicant shall provide a plan for the implementation of how move-ins for homebuyers will be phased and coordinated by the developer, so that the movements of moving trucks, private vehicles, construction equipment, and residents do not conflict.

4.0 PRIOR TO START OF CONSTRUCTION:

- 4.1. A pre-construction meeting, scheduled with the Building Division, shall be held with all applicable City staff members, developer, contractor, superintendent, and all subcontractors prior to start of construction.
- 4.2. Detailed landscape and irrigation plans for the development shall be approved by the Director of Development Services.
- 4.3. The approved construction management plan shall be distributed to all contractors and subcontractors and shall be maintained on-site through the duration of construction.

5.0 PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY:

- 5.1. The fee for review of the landscaping and irrigation plans by the City's outside plan checker shall be paid by the developer, including the City's Landscape & Irrigation Plan Review Fee.
- 5.2. All landscaping and irrigation shall be installed in accordance with plans on file with the Development Services Department, and irrigation systems fully operational. Furthermore, all landscaped areas shall be free of trash and debris.
- 5.3. A licensed landscape architect or contractor, or other licensed certified professional in a related field shall conduct a final field inspection and shall prepare a certificate of completion, which shall be filed with the Director of Development Services. The certificate of completion shall be prepared in accordance with Section 20.19.030.J of the Landscape Ordinance and shall specifically indicate that plants were installed as specified by the landscape design plan, that the irrigation system was installed as specified by the irrigation design plan, and that an irrigation audit has been performed. All landscape and irrigation audits shall be conducted by a landscape irrigation auditor. Landscape audits shall not be conducted by the person who designed the landscape or installed the landscape.

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- 5.4. All residential units shall have Category 5e wiring or similar data-transfer/network wiring system installed throughout the unit, including the kitchen, bedrooms, and office/tech centers.
- 5.5. Prior to issuance of a certificate of occupancy for the final unit, any temporary sales and/or construction office buildings/trailers shall be removed from the site.
- 5.6. Air conditioning condenser units shall be placed in the private open space area and not impact access to the private open space area. Landscaping shall be designed and installed to not restrict access to gated side yard areas, and a three-foot-wide concrete path with concrete pad or similar hard surface shall be installed to facilitate the movement of trash receptacles.
- 5.7. Prior to final inspection, a landscape maintenance program for all common or undeveloped areas shall be reviewed and approved by the Director of Development Services. The maintenance program shall include general landscape maintenance provisions for pruning, trimming, and the replacement of any dead, decayed, or diseased vegetation, ongoing weed abatement, and replacement/repair of the irrigation system, when necessary. The landscape maintenance program shall be included with the contract with the landscape maintenance company to ensure they implement the maintenance program. In addition, the maintenance program should include provisions for periodic inspections to ensure the irrigation system is working properly, and all landscaping is being properly maintained.
- 5.8. In order to inform new homeowners of various impacts they may experience, the applicant is required to provide the following disclosure notices. Every homeowner shall sign these notices, acknowledging that they have reviewed and understand their contents, and copies of the signed notices shall be provided to the Planning Division prior to the issuance of a certificate of occupancy for each respective unit:
 - 5.8.1. Notification of the existing land use, zoning and general plan land use designation for properties within 1,320 feet of the proposed subdivision shall be presented to all customers and future homeowners. The notice, as well as posting and signature requirements, shall conform to Sections 15.40.020 and 5.04.220 of the Chino Municipal Code.
 - 5.8.2. The City has a Right to Farm policy, which allows for existing agricultural uses to continue as long as the property owner desires, and limits the circumstances under which the use could be declared a nuisance.

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- 5.8.3. A disclosure notice specifying potential nuisances, such as odors, dust, nesting animals, flies, and other vectors may occur on their property and/or within the project site. This notice shall be submitted to the Director of Development Services for review and approval. This notice shall be signed by individual property owners and shall be recorded with the property title.
- 5.8.4. The proposed development is consistent with the City's adopted Airport Comprehensive Land Use Plan (ACLUP) and the applicable provisions of the City's Zoning Ordinance, in that the development site is located in Safety Zone III, and the proposed residential development is considered a normally acceptable use within this zone subject to restrictions and mitigation. These restrictions are required to ensure that the residential use does not conflict with the standards contained within the ACLUP. The applicant shall disclose to future homebuyers that the Chino Airport hosts an annual Air Show and that the properties may be subject to overflight noise, vibration and dust from aircraft participating in this show.
- 5.8.5. The applicant shall disclose to homebuyers the existence of The Preserve Design Guidelines, and shall disclose that any planned future building modification shall comply with the design guidelines.
- 5.8.6. The applicant shall prepare a disclosure notice explaining the parking restrictions within the development, including a diagram of the site showing the areas where parking is allowed and not allowed, and explaining the parking policies contained within the CC&R's.
- 5.8.7. Prior to issuance of occupancy permits, an avigation easement shall be recorded against the property deed of all new development projects and use permits within 10,000 feet of the Chino Airport. The avigation easement shall advise current and future property owner(s) that the property may be subject to over flight noise, vibration, and dust from aircraft.
- 5.8.8. A disclosure that the project site is located in an area that includes Prado Park, Mill Creek Wetlands, and other existing open space areas and natural drainage/treatment facilities in the Prado basin that will include an increase in mosquitos and other insects in the area, which could hamper the enjoyment of outdoor spaces and increase the risk of mosquito-borne diseases. This notice shall be submitted to the Director of

Development Services for review and approval. This notice shall be signed by individual property owners and shall be recorded with the property title.

6.0 ENVIRONMENTAL REQUIREMENTS & MITIGATION MEASURES:

- 6.1. Comply with all mitigation measures identified in *The Preserve Mitigation Monitoring Program* contained within The Preserve Chino Sphere of Influence – Subarea 2 Final Environmental Impact Report (SCH# 2000121036), as well as the Refined Project Mitigation Measures referred to within the Addendum to The Preserve Chino Sphere of Influence Subarea 2 EIR (SCH# 2000121036) for South of Pine Update 2022, prepared by Monchamp Meldrum LLP and dated January 2022, which identifies each environmental mitigation measure, the time in which it will be implemented and the responsible party for monitoring its implementation.

7.0 OTHER REQUIREMENTS:

- 7.1. All signs, including subdivision and/or realty signs proposed for this development shall be designed to conform to the Sign Ordinance and shall require separate application and approval by the Planning and Building Divisions prior to installation.
- 7.2. All existing buildings or structures on the project site that are proposed to be demolished shall be removed or razed within 90 days of issuance of a grading permit. The Director of Development Services may approve an extension of time to complete the demolition, based on evidence that the applicant has exercised reasonable progress.
- 7.3. The project site shall be cleared of all trash, debris, weeds, and other discarded items within two weeks of Planning Commission approval, or as determined by the Director of Development Services. Approval of this application shall be deemed null and void upon failure of the applicant to comply with this condition within the aforementioned time period.
- 7.4. To minimize damage to paved areas due to tree root growth, trees located within five (5) feet of any paved surface area shall be provided with root barriers unless it can be demonstrated, to the satisfaction of the Planning Division, that the root growth characteristics of the type of tree proposed does not warrant their installation.
- 7.5. All building drainage gutters, downspouts, vents, etc., located on the exterior walls shall be architecturally compatible with the exterior building design and color, to the satisfaction of the Director of Development Services, or shall be completely concealed from view.

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- 7.6. The builder shall weather treat all wood materials, including porch railing and balconies for residential units, all wood fences, and trellis features within the landscape areas, to prevent weather depreciation.
- 7.7. Any revision to plotting and/or elevation changes for residential projects shall be subject to review and approval by the Director of Development Services. If the proposed revisions are substantial then the Director may require that the Planning Commission and/or DRB review and approve them. To ensure that the appropriate variation of units is maintained, the applicant shall, at a minimum, submit a revised colored site plan, a table identifying the revised unit count, and an exhibit showing the revised street scene(s). Additional information may be required depending on the nature of the changes.
- 7.8. The developer shall provide, as an option to buyers, structured wiring and technology upgrades that may include the following, as deemed appropriate by the Director of Development Services:
- Local Area Network- 4Port 10/100T Ethernet router.
 - Closed-circuit television cameras.
 - Security system.
 - Surround sound, home theatre, and whole house audio.

The developer shall submit the proposed option package to the Director of Development Services for review and approval prior to issuance of building permits.

- 7.9. Phased Projects:
- 7.9.1. All required street improvements and a minimum of 10 feet of landscaping on private property shall be installed in conjunction with the construction of Phase 1 of the proposed project. The landscaping within this area shall be included in the landscape maintenance program.
- 7.9.2. Prior to the first occupancy permit, all undeveloped building pads shall be improved according to the following requirements:
- 7.9.2.1. For an undeveloped building pad located adjacent to the street or main drive aisle of the site, the area shall be landscaped with a planting scheme consisting of a low-maintenance drought tolerant erosion control mix of Cucamonga Brome (20 lbs /acre), Tomcat Clover (4 lbs/acre and Small Fescue (8 lbs/acre) at a minimum of 85 percent PLS (pure live seed). The irrigation system shall consist of low precipitation

sprinkler heads and/or drip system. In addition, shrubs may be required to provide screening from the street, if determined needed by the Director of Development Services. An alternate plan illustrating the use of hydro-seeding or applying a soil binder for dust control may be presented to the Director of Development Services for review. Said treatment shall be incorporated into the required landscape and irrigation plans, and the landscape maintenance program.

- 7.9.2.2. For a larger phased area located on the interior of the site, a construction fence/green screen may be provided in lieu of the landscape treatment. The fence shall be maintained in good condition at all times.
- 7.10. All new residential development shall comply with the mandatory measures contained in Chapter 4 of the California Green Building Code and the selected voluntary measure contained in Appendix A4 and identified in Section 15.45.030 (Residential Development) of the Chino Municipal Code.
- 7.11. Consistent with Section 15.45.050 (Model Homes) of the Chino Municipal Code, at least one model home/unit for each residential development shall offer and display energy-saving options and signage identifying standard and optional features that contribute to the overall efficiency of the home. Handout materials shall be made available in the model home describing the optional features, including costs, benefits, energy savings, etc.
- 7.12. Per Section 15.45.070 of the Chino Municipal Code, demonstrate consistency with the Chino Climate Action Plan by implementing one of the following three options:
 - a) Exceed the mandatory California Energy Code Title 24, Part 6 standards in effect at the time of application submittal by 5%; or
 - b) Achieve an equivalent reduction through voluntary measures in the California Green Building Standards Code, Title 24, Part 11 (CALGreen) in effect at the time of application submittal; or
 - c) Provide other equivalent greenhouse gas (GHG) reductions through measures including but not limited to, non-vehicle transportation infrastructure, transit, ZEV (zero emission vehicle) infrastructure or other incentives, waste diversion, water conservation, tree planting, renewable energy option packages, or any combination of these or other measures such that GHG emissions are reduced by 0.74 MT CO₂e per residential

dwelling unit per year and/or per TSF of commercial/industrial use per year.

Applicants that choose Option a described above will be required to verify that their project meets the 5% improvement above the mandatory standards through the appropriate certificate of compliance form for residential construction (CF-1R) or for commercial/industrial construction (PERF-1C). Applicants that choose Options b or c described above will be required to utilize the GHG Performance Standard Checklist developed by the City, or provide other valid documentation, such as CalEEMod or other methodologies, as verified by the Director of Development Services to demonstrate the required GHG reductions consistent with the City's CAP.

8.0 CONSTRUCTION SITE SECURITY:

- 8.1. Each site shall be completely encircled by a minimum 6' tall security-quality chain link fence once precise grading has been completed or as determined by the Deputy Director of Development Services.
- 8.2. Tennis court or similar screening material shall be securely attached for the length of the fence, excluding gates and 10' on either side of gates.
- 8.3. Each site shall have only one entry/exit gate, or as approved by the Planning Division.
- 8.4. Gate hinge pins shall be spot-welded or altered in such a way as to prevent easy removal.
- 8.5. Each gate shall have a casehardened lock and chain, or other equivalent security hardware.
- 8.6. "No Trespassing" signs shall be attached to the exterior of the fence at a minimum distance of a third of a mile and at all entrances.
- 8.7. On or near the exterior of each gate will be a sign with the address of the site in no less than 6" letters. Both the number and street name will be listed on the sign. The address posted will be used for the entire site until the fence is removed and individual addresses assigned.
- 8.8. Office trailers and tool bins shall be placed adjacent to gates inside the property to allow observation from outside.
- 8.9. Lighting on trailers and bins is desirable but shall be directed into the property so as not to impede outside observation or endanger nearby traffic with glare.

- 8.10. Tool bins shall be secured with casehardened locks, preferably with lock guards.
- 8.11. A sign stating that theft is not acceptable on the site and will be reported to the police, or wording to that effect, will be displayed prominently near each entrance.
- 8.12. Each site will have an assigned Crime Prevention Manager who is responsible for the following:
 - a) Providing his/her name and 24-hour telephone access number to the Chino Police Department.
 - b) Have available at all times the names and 24-hour contact numbers for all subcontractors.
 - c) Have the authority to speak for the development/owners on matters concerning trespassing and other criminal matters.
 - d) Complete routine fence inspections and arrange for prompt repairs or removal of any damage, graffiti, or loose screening.
 - e) Ensure that no work or maintenance of construction equipment is being performed on the site between 8 p.m. and 7 a.m.
 - f) Ensure that all above security requirements are complied with, and that all security hardware, fencing, and lighting are maintained in working order.
 - g) Ensure that thefts are immediately reported to the police department and that reasonable steps are taken, if evident, to prevent future similar incidents.

9.0 ARCHITECTURE, LANDSCAPING, AND FENCING REQUIREMENTS:

- 9.1. The following items shall be reviewed and approved by the Planning Division prior to building permit issuance and/or reflected in the final approved set of construction drawings:
 - 9.1.1. Samples of the stucco finish for each architectural elevation shall be reviewed by the Planning Division in the field for approval prior to applying the stucco to the buildings. A medium sand finish is required for Adaptive Farmhouse elevations.
 - 9.1.2. An exclusive front door style shall be utilized for and designed to be compatible with each architectural style used in the development.
 - 9.1.3. All door and window surrounds utilizing stucco over foam shall have a smoother finish than the adjacent field finish.

DEVELOPMENT SERVICES DEPARTMENT PLANNING DIVISION

CONDITIONS OF APPROVAL

FILE NO.: PL24-0133 (SA)

DATE: September 17, 2025

- 9.1.4. Sectional garage doors equipped with automatic openers shall be provided for each unit. An exclusive garage door style shall be utilized for and be compatible with each architectural style used in the development.
- 9.1.5. Decorative building-mounted light fixtures shall be provided in the alleys. Light fixtures shall be equipped with a photometric sensor to turn on and off automatically.
- 9.1.6. All architectural treatments and finish materials on building elevations such as wood siding, stone veneer, etc. shall return to an inside corner or other logical termination point to the satisfaction of the Director of Development Services.
- 9.1.7. Substantial landscaping shall be installed at the ends of cul-de-sacs or alleys that face a public street.
- 9.1.8. Concrete mow curbs shall be installed between all turf and shrub areas in all common landscape areas.
- 9.1.9. Stone, brick, and other masonry veneers, where used, shall be applied to within four inches of the finished grade.

PUBLIC WORKS CONDITIONS OF APPROVAL

PROJECT NO. PL24-0133 (Site Approval)

DATE: September 8, 2025 PC MEETING DATE: September 17, 2025

PROJECT DESCRIPTION: Construction of 93, three story condos on lot 48 of TTM 16420 on a 6.48-acre site (Block 8).

PROJECT LOCATION: NW corner of Main Street and Legacy Park Street

APPLICANT: Chino Preserve Development Corp. PROJECT ENGINEER: Daniel Aguirre

PRIOR TO THE THREE MAJOR DEVELOPMENT EVENTS, THE APPLICANT SHALL SATISFY AND FULFILL ALL CONDITIONS OUTLINED BELOW. FAILURE TO COMPLY WITH ANY CONDITIONS OF APPROVAL SHALL BE DEEMED JUST CAUSE FOR REVOCATION OF PROJECT APPROVAL BY THE PLANNING COMMISSION. HOWEVER, THE PUBLIC WORKS DIRECTOR SHALL HAVE THE AUTHORITY TO APPROVE MINOR DEVIATIONS IN THE CONDITIONS OF APPROVAL, AND ALL PLANS INCLUDING THE CONSTRUCTION DRAWINGS.

THIS PROJECT SHALL ALSO COMPLY WITH THE APPLICABLE ENGINEERING CONDITIONS OF APPROVAL FOR MASTER SITE APPROVAL (MSA) PL23-0043/ TENTATIVE TRACT MAP (TTM) 16420-8 AND TENTATIVE TRACT MAP (TTM) NO. 16420 APPROVED BY THE PLANNING COMMISSION ON MAY 15, 2024, AND FEBRUARY 23, 2022, RESPECTIVELY.

1.0 **PRIOR TO ISSUANCE OF BUILDING OR CONSTRUCTION PERMITS:**

- 1.1. Record Tract Map No.16420-8 (PL23-0043) pursuant to the Subdivision Map Act and in accordance with City Municipal Code. Provide a duplicate photo Mylar of the recorded map to the City's Engineer's office.
- 1.2. All required plans and studies shall be prepared by a Registered Professional Engineer and submitted to the Project Engineer for review and approval. All project plans must be approved by the City Engineer's office before a Building Permit will be issued. All maps, studies, calculation sheets, reports, etc. must be on and/or folded in an 11-inch by 8½-inch standard format.
- 1.3. Make the following dedications:

<u>Street Name</u>	<u>Distance (R/W Total)</u>	<u>Direction From C/L</u>
<u>Main Street</u>	<u>15' (46')</u>	<u>West</u>
<u>Legacy Park Street</u>	<u>35'/20' (55')</u>	<u>North/South</u>

- 1.3a Dedicate to the City 26-foot wide (entry), and 34-foot (w/ parking) wide easements for proposed Academy Street, Private Drives C, J-L, Q-V, X, and Private Alleys I, M, and N for fire lane and public and private utility access purposes.
- 1.3b Prepare and record necessary drainage easements to implement the project in accordance with drainage law.
- 1.4. Prepare and submit a drainage study, including supporting hydraulic and hydrological data to the project engineer for approval. The study shall confirm or recommend changes to the City's adopted Master Drainage Plan for Subarea 2 (The Preserve) by identifying off-site runoff proposed to be conveyed by Line 'G', downstream control for the Line 'G' system, and on-site stormwater runoff impacts resulting from build-out of permitted General Plan land uses. In addition, the study shall

identify the project's contribution and shall provide locations and sizes of catchments and system connection points and all downstream drainage-mitigating measures.

- 1.5. Prepare and submit a final grading plan showing building footprints, pad elevations, finished grades, drainage routes, retaining walls, erosion control, slope easements and other pertinent information in accordance with Appendix J of the California Building Code, latest edition.
- 1.6. Provide a certificate, from a Registered Civil Engineer, certifying that the finished grading has been completed in accordance with the City approved grading plan.
- 1.7. Submit a soils/geology report in accordance with Appendix J of the California Building Code, latest edition to the project engineer for review and approval.
- 1.8. Prior to issuance of any construction permit and in accordance with Conditions of Approval per Tract Map 16420-8, design per City Standards and construct full public improvements for all impacted and interior streets/facilities in accordance with City Code, Standards and Specifications. Such public improvements shall include, but not be limited to, the following:

	<u>Street Names</u>		
	Legacy Park St ^(1a)	Main St ^{(1b) (2)}	Private Drives/Alleys
Curb & Gutter (Offset from Centerline)	20' N'ly & S'ly	Per TM16420-4 (Block 9)	13'
Sidewalk (Width)	5'	10' Per TM16420-4 (Block 9)	5'
Asphalt Concrete Pavement on Aggregate Base (Width from Centerline)	36' wide (18')	Per TM16420-4 (Block 9)	X
Asphalt Concrete Overlay			
Street Lights	X	Per TM16420-4 (Block 9)	X
Median Island and Landscaping			
Parkway Landscaping ⁽³⁾	X	X	
Striping and Traffic Controls ⁽⁴⁾	X	X	X
Traffic Signal Interconnect			
Conduit System for CATV			
Sewer ⁽⁵⁾	X		X
Storm Drain ⁽⁶⁾	X		X
Domestic Water ⁽⁷⁾	X		X
Recycled Water ⁽⁷⁾	X		X
Fire Hydrants as required by CVIFD ⁽⁸⁾	X		X
Driveway Approaches ⁽⁹⁾	X	X	

- If downstream sewer and/or storm drain facilities have not been constructed, developer shall be responsible for constructing said offsite facilities to serve the development.
- Additional offsite water facilities may be required in order to serve this phase.
- Water treatment/storage facilities shall be provided by the City of Chino through DIF Fees and Credits per Water Agreements between the City of Chino and Developer.

1) The public improvements listed shall be made as specified in our municipal code and per the City of Chino's The Preserve Specific Plan. All required street improvements should follow the new City standard for street trenching backfill and repair. Repair all damage to existing public improvements due to the proposed construction activities and as requested by the Public Works Inspector. The public street improvements listed above are required as follows:

- a. Full street improvements on Legacy Park Steet along the north side to the south side curb along the project's frontage.
 - b. Sidewalk and landscaping along the west side of Main Street along the project's frontage.
 - 2) There are existing public improvements on Main St recently constructed by TTM 16420-4 (Block 9). However, if any required improvements have not yet been constructed, this development shall be responsible for completing their construction.
 - 3) The parkway maintenance, including sidewalks and streetlights, shall be the responsibility of the Preserve Master Maintenance Corporation (PMMC).
 - 4) Extent of the signing & striping plan shall be dictated by the City Traffic Engineer.
 - 5) Public sewer mains shall be located only within public streets; otherwise, sewer mains shall be private. Abandon unused sewer service(s) where applicable, per City standards. Also, see COA 1.24 and 3.3.
 - 6) Public storm drain mains shall be located only within public streets; otherwise, storm drain mains shall be private. Unused storm drain inlets and laterals shall be properly removed and abandoned. Also, see COA 1.24 and 3.3.
 - 7) Provide new water meters and services and abandon unused water meters and services where applicable, per City standards. Utilize recycled water on the project site to the maximum extent practicable. See COA 1.19. Public water mains shall not extend into lettered lots.
 - 8) All relocated or proposed fire hydrants will need to be upgraded to the latest model per City of Chino standards.
 - 9) All proposed driveway approaches shall be constructed per City Std. No. 240 with 5-ft sidewalks. Minimum radii per City and Chino Valley Independent Fire District (CVIFD) requirements.
- 1.9. All improvements shall comply with federal, state, and local accessibility regulations and standards.
- a. The review or approval of plans and specifications by the City does not permit the violation of any section of the federal law, state law, building code, or local ordinance.
 - b. Where accessibility standards are contradictory, the provision that provides the most accessible (restrictive) condition shall apply.
 - c. Where the project's conditions of approval conflict with accessibility regulations and standards, the prevailing provision shall be determined by City's Accessibility Coordinator and City Engineer.
- Pedestrian facilities (privately or publicly owned) that are open to the public shall comply with the City's Policy on Accessible Pedestrian Facilities, accessibility standards in the CBC, and the Americans with Disabilities Act (ADA) regulations in Part 36 of Title 28, which include the 2010 (ADA) Standards.
- Accessibility of existing and proposed building improvements will be evaluated by the City's building department. Those comments and requests are in addition to those provided herein.
- 1.10. Provide a set of proposed Covenants, Conditions and Restrictions (CC&R) for review and approval. The proposed CC&Rs shall contain the Association's/Owner's maintenance obligations with respect to various facilities including, but not limited to, right-of-way landscaping, private streets, sidewalks, utilities, streetlights, and Water Quality Management Plan (WQMP) features. This document must be submitted to and approved by the City before it is submitted to any other governmental entity.
- 1.11. Execute a Subdivision Agreement and submit security in an amount acceptable to the City Engineer to guarantee construction of the public improvements listed in 1.8. All security must be accessible to the City at any time and in a form acceptable to the City Engineer, pursuant to Government Code, Section 66499.

- 1.12. Provide a Monumentation Bond in an amount specified in writing by a Registered Engineer or Licensed Land Surveyor of Record.
- 1.13. Comply with all applicable requirements of the City Code.
- 1.14. Provide a Pedestrian Accessibility Route Plan that clearly indicates structures proposed with this site and future phases and/or site plans. The route plan must ensure that all pedestrian facilities (private or publicly owned) that are open to the public shall comply with accessibility standards in the City's Policy on Accessible Pedestrian Facilities, the current edition of the CBC in effect at the time of building permit issuance or, if no permit, the date construction commences, and Part 36 of Title 28 of the Americans with Disabilities Act (ADA) regulations, which include the 2010 ADA Standards. This includes the following structures and facilities:
 - a. Sidewalks and walks (public right of way sidewalk, walks within the development);
 - b. Curb ramps (should be directional with one curb ramp provided for each pedestrian crossing and shall comply with the City's Policy on Accessible Pedestrian Facilities);
 - c. Pedestrian crossings at driveways.

- 1.15. Pay all applicable fees pursuant to City Code including, but not limited to, the Development Impact Fees (DIF) and Sewage Facilities Development Fee (SFDF). The actual amount of fees due to the City will be based on the fee schedule in place on the date that the fees are due, or the date that they are paid, whichever occurs last. The fee amount stated in this notice is subject to change based on (1) annual adjustments for inflation, pursuant to Chino Municipal Code Section 3.40.100 or 3.45.100, (2) revisions to the Chino Municipal Code, and (3) updates to the fee studies and nexus reports adopted by the City.

Developer is solely responsible for remaining informed about changes in the fee amounts. City shall have no obligation to inform Developer of changes in the fee amounts unless Developer requests notice of such changes, pursuant to Government Code Section 66019(b) and Chino Municipal Code Section 3.40.080(B) or 3.45.080(B).

- 1.16. All projects developing one (1) acre or more of total land area, or which are part of a larger phased development that will disturb one acre of land, are required to obtain coverage under the State Water Resources Control Board's (SWRCB) General Permit for storm water discharges associated with construction activity. Proof of filing a Notice of Intent (NOI) with the SWRCB for coverage under this permit is required. A copy of the Waste Discharger's Identification Number (WDID), issued by the SWRCB, must be submitted to the Project Engineer prior to issuance of grading permits. More detailed information regarding this General Permit, applicable fee information and the necessary forms to complete the NOI are available by calling (916) 341-5537 or on the SWRCB web site at:

http://www.swrcb.ca.gov/water_issues/programs/stormwater/constpermits.shtml

- 1.17. Pursuant to Santa Ana Regional Water Quality Control Board Order Number R8-2010-0036, NPDES Permit No. CAS618036, prepare a project-specific Water Quality Management Plan (WQMP) in compliance with the PWQMP for Block 8 and submit to the project engineer for review and approval. To address NPDES Permit requirements to the maximum extent practicable, the project shall be designed to specify preferential use of Low Impact Development Best Management Practices that reduce pollutants and runoff volume through structural measures (e.g., infiltration, harvesting, and bio-treatment) and non-structural measures (e.g., preserving natural areas, clustering development, and reducing impervious areas). The WQMP shall conform to the requirements of the San Bernardino County Stormwater Program, 2013 WQMP Technical Guidance Document and include the Trash Order Implementation Plan requirements.
- 1.18. Any future maintenance and repair of sewer laterals, except for the portion of lateral located within the public right-of-way or public easement, and domestic water or fire service laterals to the project

site shall be the sole responsibility of the applicant/property owner in accordance with City Code, Chapter 13.04.175 and 13.12.150.

- 1.19. City staff has determined that recycled water be used for grading operations, dust control activities, and public right-of-way area landscape irrigation. An evaluation of compliance to the California State Water Resources Control Board latest requirements shall be made at the time of permit issuance.
- 1.20. All public street corners shall have a minimum curb radii per City Code, Chapter 19.06 and City Standards and Specifications.
- 1.21. Provide adequate sight distance per City Standard No. 865-A for intersections and City Standard 865-B for driveways and mid-block access streets. Landscaping type and height shall be maintained to ensure sight distance requirements are perpetuated.
- 1.22. Comply with all requirements of the Focused Traffic Assessment dated November 2, 2023, including construction of required improvements.
- 1.23. Provide a copy of and comply with the Construction Management Plan previously requested on other tracts that includes but is not limited to construction notifications, noise mitigation, milestones for the phasing of interim and ultimate public improvements that coincide with building permitting and occupancy, construction yard, pedestrian mobility, and temporary traffic control.
- 1.24. Prior to installation of underground utilities, CCTV inspection of existing sewer and storm drain conduits that may be impacted by the construction shall be performed and recordings submitted to the City for comparison to post-construction inspection.
- 1.25. Per conditions specified on Tentative Tract Map 16420-8:
 - i. The developer shall be required to execute a Chino Basin Watermaster "Voluntary Agreement" with the City in those instances where such an agreement applies. For example, such instances would include developer-acquired acreage that is planned for development, but the timing of that development occurs as some future date and the acreage is proposed to be used for agricultural purposes utilizing City provided water in the interim. The Voluntary Agreement and any necessary amendments to existing agreements must be fully executed prior to the provision of City supplied water for agricultural purposes.
- 1.26. Submit to the City electronic files, in Adobe Acrobat PDF format, of all submittals, including reports, studies, improvement plans and City redlines of previous submittals. Include AutoCAD and Esri GIS shape files as an e-transmitted zip file of all approved improvement plans.

2.0 PRIOR TO REQUEST FOR AND RELEASE OF OCCUPANCY PERMITS/ACCEPTANCE OF PUBLIC IMPROVEMENTS:

- 2.1. Construct and secure Public Works Department approval of all public facilities enumerated under Section 1.0 above (per Resolution No. 88-23).
- 2.2. The applicant's Civil Engineer shall field verify that all BMPs are designed, constructed, and functional in accordance with the approved WQMP. BMPs shall also be inspected by Public Works Environmental staff. Coordinate inspection with staff and submit a completed City of Chino BMP field verification form for review and approval.
- 2.3. Pay all remaining applicable fees pursuant to City Code.
- 2.4. Per conditions specified on Tentative Tract Map 16420-Amended:
 - i. Distribute for signature of all buyers the information and disclosure notice announcing that the development will be annexed to the Preserve Master Maintenance Corporation (PMMC) before transfer of property title and completion and acceptance of all public improvements.

- 2.5. Rehabilitate all street pavement impacted by development as directed by City staff. Install signing and striping per approved plans.

3.0 PRIOR TO FINAL ACCEPTANCE/PROJECT CLOSEOUT:

- 3.1 Complete all Conditions of Approval listed under Sections 1-2 above and all Conditions of Approval for TTM 16420-8 (PL 23-0043) approved on May 15, 2024, and all conditions applicable to this phase from TTM 16420 approved on February 23, 2022.
- 3.2 As specified in the Master Site Approval TTM 16420-8 (PL 23-0043) conditions, submit to the City a letter from the surveyor indicating monuments required for the map have been set and they have been fully paid for their services.
- 3.3 After installation of underground utilities, perform CCTV inspection of the existing conduits that were CCTV inspected prior to construction and all new storm drain and sewer conduits that are less than 48-inch in diameter.
- 3.4 Set new monuments that have been damaged or destroyed as a result of construction. Monuments shall be set in accordance with City Standards.
- 3.5 The Developer is responsible for the repair and maintenance of public right-of-way or private property from substantial construction completion until final acceptance of improvements. Provide and implement maintenance schedule of infrastructure improvements should final acceptance by the City Council not occur within one year after the construction was completed.
- 3.6 Upon final cap of the street improvements listed within Section 1.0, the City of Chino strongly advises against any future street cuts for the purposes of underground utility installation for a period of Five Years. If additional cuts are required, the City Engineer may require additional street repair (length and width / full depth paving) as deemed necessary to ensure the structural integrity of the roadway.
- 3.7 Submit to the City, electronic files of "as-built" improvement plans in AUTOCAD, Esri GIS shape and Adobe Acrobat PDF formats. AUTOCAD files shall be submitted as an etransmitted zip file of the CAD drawings with all base files attached. Scanned resolution of PDF shall be a minimum of 360 dpi.

Attachment

**CITY OF CHINO
PUBLIC WORKS DEPARTMENT
DEVELOPMENT ENGINEERING DIVISION**

PROJECT NO. PL24-0133 (Site Approval)

PROJECT ENGINEER: Daniel Aguirre

DATE: 9/8/2025

A COPY OF THIS CHECK LIST MUST BE PROVIDED ALONG WITH A COMPLETED PLAN CHECK REVIEW APPLICATION TO THE ENGINEERING TECHNICIAN WHEN MAKING AN APPOINTMENT FOR FIRST PLAN CHECK SUBMITTAL

- ☒ Copy of Development Engineering Division Conditions of Approval
- ☒ Plan Check Fee Calculation Form
- ☐ Maps (Subdivision Only)
- ☒ Preliminary Title Report (no older than six months) (Subdivision Only)
- ☐ Closure Calculations (Subdivision Only)
- ☐ Referenced Maps (Subdivision Only)
- ☒ Preliminary Soils Report (no older than sixty days)
- ☐ Lot line adjustment certificate
- ☐ Lot merger
- ☐ Right-of-way dedication
- ☐ Rough Grading Plans
- ☒ Precise Grading Plans
- ☒ Storm Drain Plans (shall be part of Precise Grading Plan)
- ☒ Hydrology and Hydraulic Calculations with Backup Data (Signed and Sealed by a Registered Civil Engineer)
- ☒ Engineering Cost Estimate (On City Forms) with Engineer's Wet Signature and Stamp
- ☒ Street Improvements Plans (for all work within the right-of-way)
- ☒ Cross-Sections (if street plans are required) at 50' intervals and extended a minimum of 100' beyond limits of improvements
- ☒ Private Sewer Plans (shall be shown on Precise Grading Plan for reference only)
- ☒ Domestic Water Plans (Private sewer shall be shown for reference only)
- ☒ Recycled Water Plans (Private sewer shall be shown for reference only)
- ☒ Street Light Plans
- ☒ Voltage Drop Calculations (Signed and Sealed by a Registered Engineer)
- ☒ Signing and Striping Plans
- ☐ Traffic Signal Interconnect Plans
- ☐ Traffic Signal Plans
- ☒ Water Quality Management Plan
- ☒ Construction Management Plan



Chino Valley Fire District

14011 City Center Drive
Chino Hills, CA 91709
(909) 902-5260 Administration
(909) 902-5250 Fax
Chinovalleyfire.org

Board of Directors

Sarah-Ramos Evinger
President
Mike Kreeger
Vice President
Tom Haughey
Harvey Luth
Andrew Romaine

Fire Chief
Dave Williams

August 27, 2025

2024-00002697

CHINO PRESERVE DEVELOPMENT CORP
1156 N MOUNTAIN AVE
UPLAND, CA - California 91786

Project Name: BLOCK 8 - 3 STORY
CONDOS / 93 UNITS - PL 24-0133
Project Address: NWC LEGACY PARK &
MAIN, Chino, CA. 91710

It is a recommendation of the Fire District that the developer of every new construction project facilitate a preconstruction meeting. The meeting is to be scheduled with the Fire District Inspector for said project.

The following are the conditions of the above referenced permit/project. All conditions shall be adhered to, failure to comply with said conditions may result in the revocation of said permit and/or punitive fines as outlined in the Fire District fee schedule.

We look forward to a cooperative working relationship throughout the project. Should you have any questions regarding the project, including the conditions as set forth herein, please feel free to contact our office at (909) 902-5280.

Fire Protection Requirements

- 1.0 THE ITEMS BELOW ARE CONDITIONS OF APPROVAL AND ARE TO BE COMPLETED PRIOR TO RECORDATION:
- 1.1 Fire access roads shall be designed and plans submitted to the Fire District for approval. Fire access roads shall be constructed of an all-weather hard surface, such as, asphalt or concrete, and be a minimum unobstructed width of 26 feet and minimum clear height of 13'6". The road grade shall not exceed twelve percent (12%) maximum. An approved turn around shall be provided at the end of each roadway in excess of 150 feet in length. Aerial access shall be provided for any buildings 30' ft. and higher per 2019 CFC. Appendix D. A 26' ft. wide access road shall be a minimum of 15' ft. to the building and a maximum of 30' ft. from the building. Access roads shall comply with Fire District Standard No. 111.

- 1.2 The development and each phase shall have two (2) points of vehicular access during construction. Fire District Standard No. 111 shall be complied with.
- 1.3 Water systems shall be designed to meet the required fire flow of this development and be approved by the Community Risk Reduction Division. Buildings in excess of 100,000 square feet shall have a minimum of two (2) connections to a public main. The developer shall furnish the Community Risk Reduction Division with three (3) copies of the water system working plans done by the installing contractor for approval, along with the Fire Flow Availability Form completed by the water purveyor prior to recordation. The required fire flow shall be determined by using the California Fire Code, current adopted edition. For all private systems, the water systems shall comply with Fire District Standard Nos. 101, 102, and 103. In areas without water-serving utilities, fire protection water systems shall be based on NFPA Pamphlet 1231. For water connections and work conducted in the public right of way, please refer to separate plans reviewed and approved by the water purveyor.
- 1.4 Fire hydrants shall be six-inch (6") diameter with a minimum one four-inch (4") and one two and one-half inch (2-1/2") connections. All fire hydrants shall be spaced a maximum of six hundred feet (600') apart. Private water systems shall comply with Fire District Standard Nos. 101, 102, and 114. All hydrants shall be installed with pavement markers to identify their locations.
- 1.5 Access drives which cross property lines shall be provided with CC & R's, access easements or reciprocating agreements and shall be recorded on the titles of affected properties. Copies of the recorded documents shall be provided at the time of Fire District plan review.
- 1.6 Underground fire mains which cross property lines shall be provided with CC & R's, easements, or reciprocating agreements addressing the use and maintenance of the mains and hydrants and shall be recorded on the titles of affected properties. Copies of the recorded documents shall be provided at the time of Fire District plan review.
- 2.0 THE ITEMS BELOW ARE CONDITIONS OF APPROVAL AND ARE TO BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMIT:
- 2.1 Fire access roads shall be constructed and approved by the Community Risk Reduction Division prior to combustibles being brought onto the site.
- 2.2 Approved street signs shall be installed prior to issuance of building permits, as well as a job site address.
- 2.3 Fire Protection water systems shall be tested, operational, and approved by the Community Risk Reduction Division prior to combustible materials being brought to the site.
- 2.4 All flammable vegetation shall be removed from each building site for a minimum distance of thirty feet (30') from any flammable building material including all structures.

- 2.5 A detailed site plan of the development is required to be submitted in electronic (pdf.) format. The plan must show and be limited to: locations of property lines, buildings, and equipment and hazards for emergency response purposes. Please refer to Fire District Standard No. 143. Additional or revised files may be required during construction and/or prior to final signoff.
- 2.6 The Developer shall submit, as an electronic file, a drawing of the new streets in pdf format to the Fire District with the building construction plans. Format must contain and be restricted to the following layers: A. Right of way; B. Parcel Lines; C. Street Names; D. Address numbers; E. Fire Hydrants. Additional or revised files may be required during construction and/or prior to final signoff.
- 3.0 THE ITEMS BELOW ARE CONDITIONS OF APPROVAL AND ARE TO BE COMPLETED PRIOR TO OCCUPANCY:
- 3.1 A residential "life safety" fire sprinkler system is required. The developer shall submit an electronic/PDF set of detailed plans and hydraulic calculations to the Community Risk Reduction Division for approval. The system shall be installed, tested and approved prior to occupancy. The system shall meet the standards of NFPA 13R or 13D and Fire District Standard No.126. Dwellings in excess of 5,000 square feet shall provide calculations of the (4) four most remote sprinkler heads. For NFPA 13R systems, the contractor is required to submit a report to The Compliance Engine (TCE).
- 3.2 Smoke and Carbon Monoxide alarms are required to be installed per Section 310 of the California Building Code, current adopted edition. Locations shall be in accordance with code requirements.
- 3.3 Exits, doors, signs and approved path marking shall be installed in accordance with the current adopted edition of the California Building Code, Section 1007
- 3.4 "No Parking - Fire Lane" signs shall be installed in interior access drives at locations designated by the Community Risk Reduction Division. Curbs shall be painted red at locations designated by the Community Risk Reduction Division. Please refer to Fire District Standard No. 121.
- 3.5 Residential street addresses shall be posted with a minimum of four inch (4") numbers, shall be electrically illuminated (by 12-volt power source only) by internal means during the hours of darkness. Posted numbers shall contrast with the background used and be legible from the street in accordance with the California Fire Code, current adopted edition. Where building is set back more than 100 feet from the roadway, additional non-illuminated four inch (4") numbers shall be displayed at the property access entrance. These numbers shall also contrast with the background used. Please refer to Fire District Standard No. 122.

- 3.6 An electronic/PDF set of plans shall be submitted separately for each of the following listed items to the Fire District for review, approval and permit prior to any installation or work being done. Approved plans must be maintained at the worksite during construction. Fees are due at the time of submittal.
- a) Building Construction, includes tenant improvement work
 - b) Private (onsite) Underground Fire Protection Water Systems, if applicable
 - c) Fire Sprinkler Systems, designed by C16 contractor or registered engineer

Applicable Standards:

101, 102, 103, 111, 114, 122, 126

CVFD Standards available online at <http://www.chinovalleyfire.org>



Note: Artist's conception; colors, materials and application may vary.

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Plan 1A | Conceptual Elevations A-3
Plan 1A | Conceptual Elevations A-4
Plan 1B | Conceptual Elevations A-5
Plan 1B | Conceptual Elevations A-6
Plan 1C | Conceptual Elevations A-7
Plan 1C | Conceptual Elevations A-8
Plan 2 | Conceptual Floor Plan A-9
Plan 2 | Conceptual Floor Plan A-10
Plan 2A | Conceptual Elevations A-11
Plan 2A | Conceptual Elevations A-12
Plan 2B | Conceptual Elevations A-13

Plan 2B | Conceptual Elevations A-14
Plan 2C | Conceptual Elevations A-15
Plan 2C | Conceptual Elevations A-16
Plan 3 | Conceptual Floor Plan A-17
Plan 3A | Conceptual Elevations A-18
Plan 3A | Conceptual Elevations A-19
Plan 3B | Conceptual Elevations A-20
Plan 3B | Conceptual Elevations A-21
Plan 3C | Conceptual Elevations A-22
Plan 3C | Conceptual Elevations A-23
Architectural Details : Adaptive Farmhouse A-24
Architectural Details : Industrial..... A-25
Architectural Details : Mainstreet..... A-26
Conceptual Color and Materials..... CM-1
Conceptual Color and Materials..... CM-2

The Preserve at Block 8 CHINO, CA



Lewis Group of Companies
Contact: Joel Macy
1156 N. Mountain Avenue, Upland, CA 91786
949-579-1295 | www.LewisGroupofCompanies.com



WHA. Architects . Planners . Designers .
Contact: Nick Manea
680 Newport Center Drive, Suite 300 Newport Beach, CA 92705
949.250.0607 | www.WHAinc.com

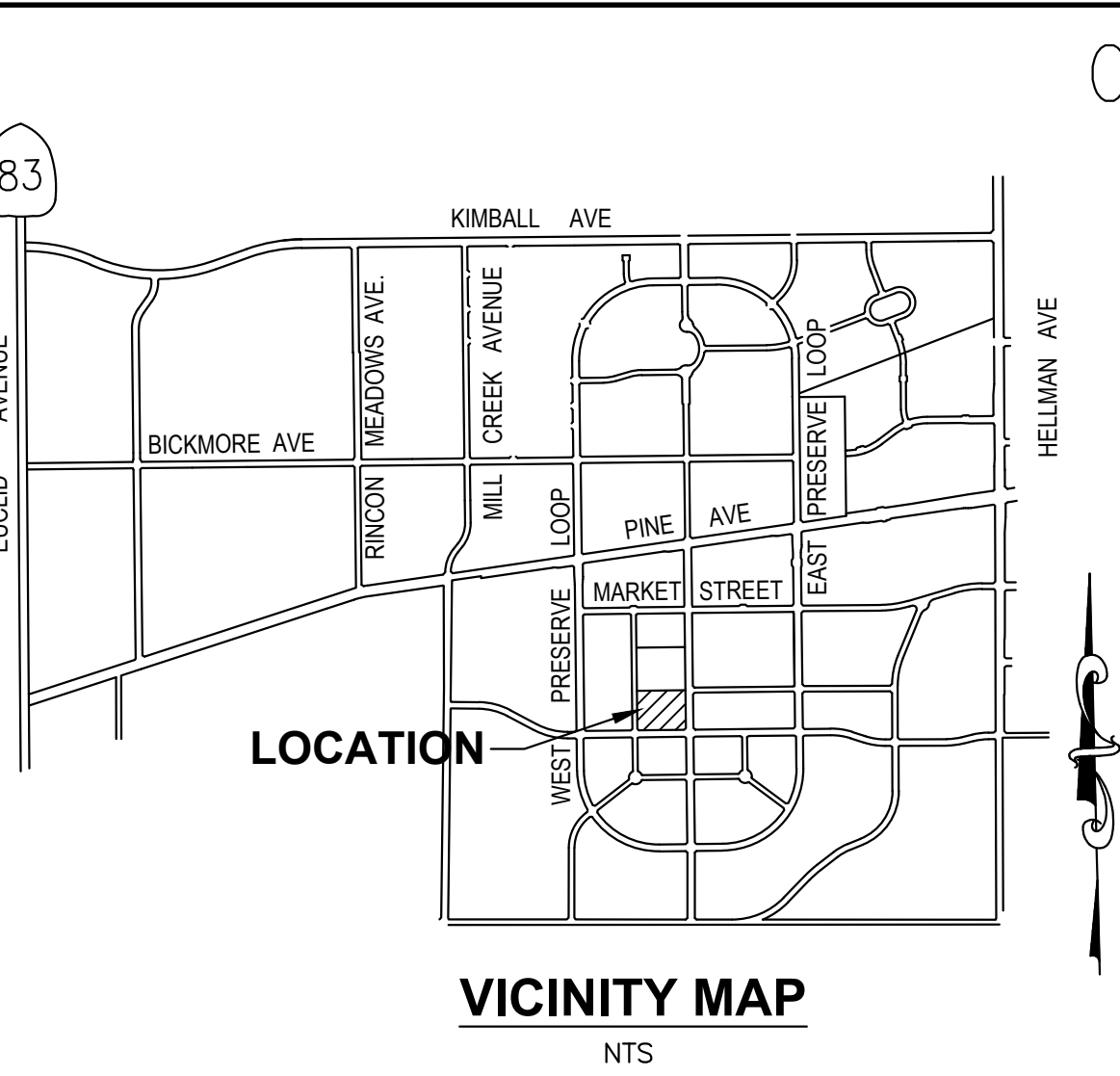
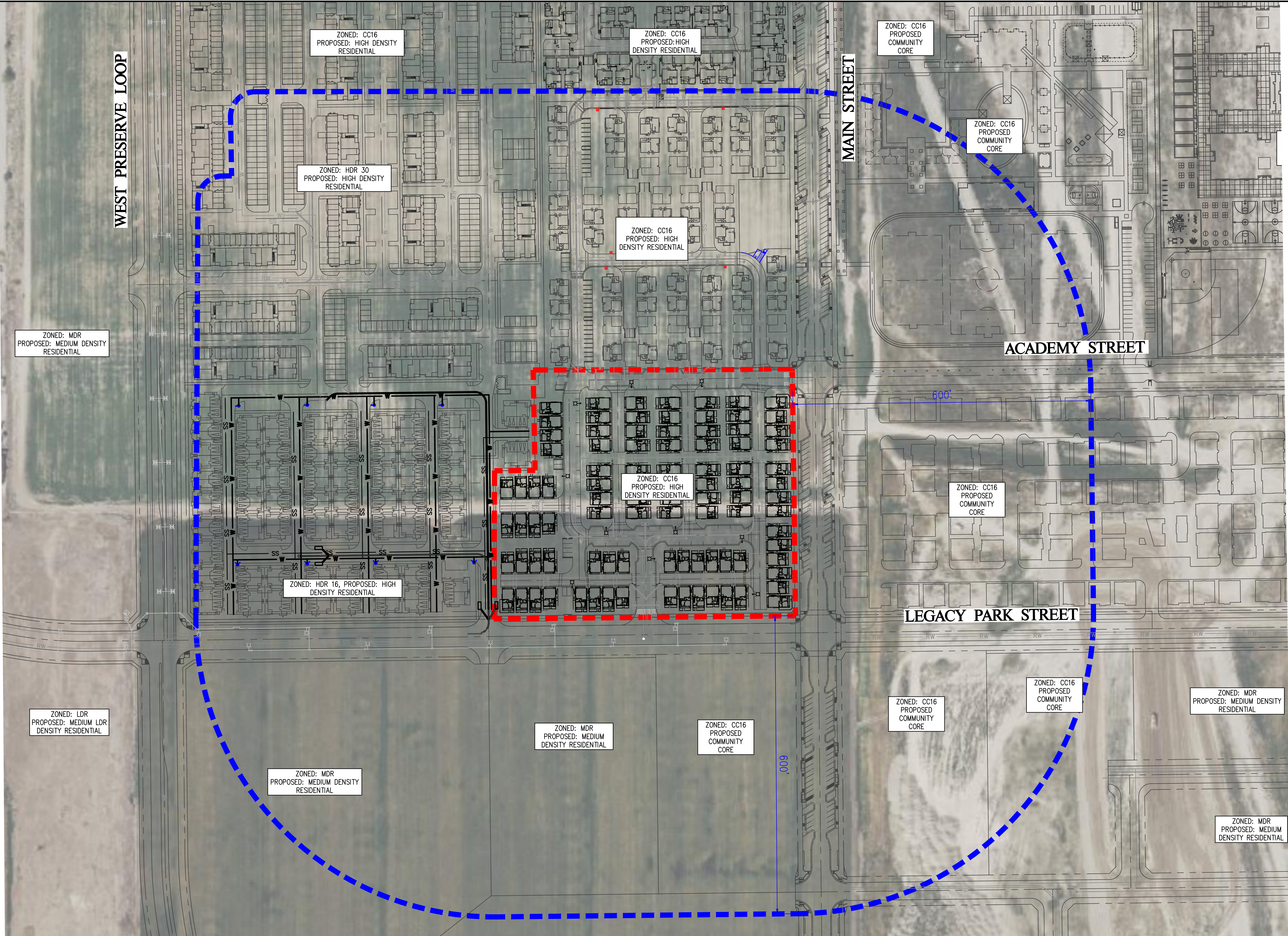


Cannon Corp.
Contact: Julian Rhoades
16842 Von Karman Avenue, Suite 150
Irvine, CA 92606
949.753.8111 | www.cannoncorp.us



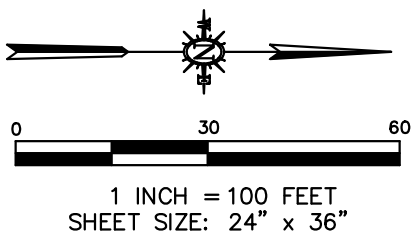
Sitescapes, Inc.
Contact: Scott Shoup
3190 Airport Loop Drive, Suite B-2
Costa Mesa, CA 92626
949.644.9370 | www.sitescapes.net

Submittal Log	
Submittal 1	11/14/2024
Submittal 2	04/15/2025
Submittal 3	06/18/2025
Submittal 4	07/18/2025



TRACT 16420 - LOT 48
IN THE CITY OF CHINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
CANNON CORP. August 2025

- LEGEND**
- BLOCK 8 IMPROVEMENT BOUNDARY
 - PROJECT SITE/PARCEL LINE
 - 600' BOUNDARY
 - RIGHT OF WAY LINE
 - EASEMENT LINE
 - SS PROPOSED PRIVATE SEWER
 - SS EXISTING PUBLIC SEWER
 - W PROPOSED PUBLIC DOMESTIC WATER
 - PROPOSED FIRE HYDRANT
 - W EXISTING PUBLIC DOMESTIC WATER
 - RW EXISTING PUBLIC RECYCLED WATER
 - SD PROPOSED PRIVATE STORM DRAIN
 - SD EXISTING PUBLIC STORM DRAIN
 - PROPOSED STORM DRAIN CATCH BASIN
 - EXISTING STORM DRAIN CATCH BASIN
 - PROPOSED STREET LIGHT



SITE UTILIZATION MAP

NOTE: NO EXISTING GROUNDWATER WELLS LOCATED WITHIN 600' PROJECT BOUNDARY.

BLOCK 8 AT THE PRESERVE

Chino Preserve Development Corp.
1156 North Mountain Avenue
P.O. Box 670
Upland, California 91785
909.946.7523

Cannon
16842 VON KARMAN AVENUE, SUITE 150
IRVINE, CALIFORNIA 92606
949.753.8111 | CANNONCORP.US

August 28, 2025

SITE PLAN
TRACT NO. 16420 LOT 48

IN THE CITY OF CHINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
A PORTION OF GOVERNMENT LOTS 3 AND 4 AND A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4
AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 7
WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.

CANNON CORP.

August 2025

OWNER

MR. PAT LOY
CHINO PRESERVE DEVELOPMENT CORP.
1156 N. MOUNTAIN AVE.
UPLAND, CALIFORNIA 91785
(909)946-7513

DEVELOPER

MR. PAT LOY
CHINO PRESERVE DEVELOPMENT CORP.
1156 N. MOUNTAIN AVE.
UPLAND, CALIFORNIA 91785
(909)946-7513

ENGINEER

CANNON CORP
16842 VON KARMAN AVENUE, SUITE 150
IRVINE, CALIFORNIA 92606
(949)753-8111

SOILS ENGINEER

RMA GROUP
10851 EDISON CT.
RANCHO CUCAMONGA, CALIFORNIA 91730
(909)989-1751

SERVING UTILITY COMPANIES

- SEWER: CITY OF CHINO PUBLIC WORKS DEPT.
13220 CENTRAL AVENUE
CHINO, CALIFORNIA 91710
(909)627-7577
- WATER: CITY OF CHINO PUBLIC WORKS DEPT.
13220 CENTRAL AVENUE
CHINO, CALIFORNIA 91710
(909)627-7577
- ELECTRICITY: SOUTHERN CALIFORNIA EDISON CO.
1351 E. FRANCIS STREET
ONTARIO, CALIFORNIA 91761-5796
(909)930-8468 (800)422-4133
- GAS: SOUTHERN CALIFORNIA GAS COMPANY
1981 W. LUGONIA AVENUE
REDLANDS, CALIFORNIA 92374-9720
(909)335-7572 (800)422-4133
- TELEPHONE: VERIZON
1400 PHILLIPS BLVD.
POMONA, CALIFORNIA 91766
(909)469-6334 (800)422-4133
- FIRE PROTECTION: CHINO VALLEY INDEPENDENT FIRE DISTRICT
2005 GRAND AVENUE
CHINO, CALIFORNIA 91709
(909)902-5280
- CABLE TELEVISION: SPECTRUM CABLE
303 W. PALM AVENUE
ORANGE, CALIFORNIA 92866
(714)903-4000 (888)892-2253

*ALL EXISTING STRUCTURES HAVE BEEN DEMOLISHED

SITE SUMMARY

ADJUSTED GROSS ACREAGE: 6.48 AC
NET ACREAGE: 6.48 AC
EXISTING ZONING: CC16 - HIGH DENSITY RESIDENTIAL
PROPOSED ZONING: CC16 - HIGH DENSITY RESIDENTIAL
EXISTING LAND USE: VACANT
PROPOSED LAND USE: RESIDENTIAL DWELLING
NUMBERED LOTS: 1 LOT
LETTERED LOTS: 0 LOTS
DENSITY: 14.35 DU/AC
LOT COVERAGE: 36%
LANDSCAPE COVERAGE: REFER TO LANDSCAPE EXHIBITS

-ALL DRIVEWAY APPROACHES ARE 3' MINIMUM IN DEPTH

APNS: 1057-181-21 & 1057-181-37

LEGEND

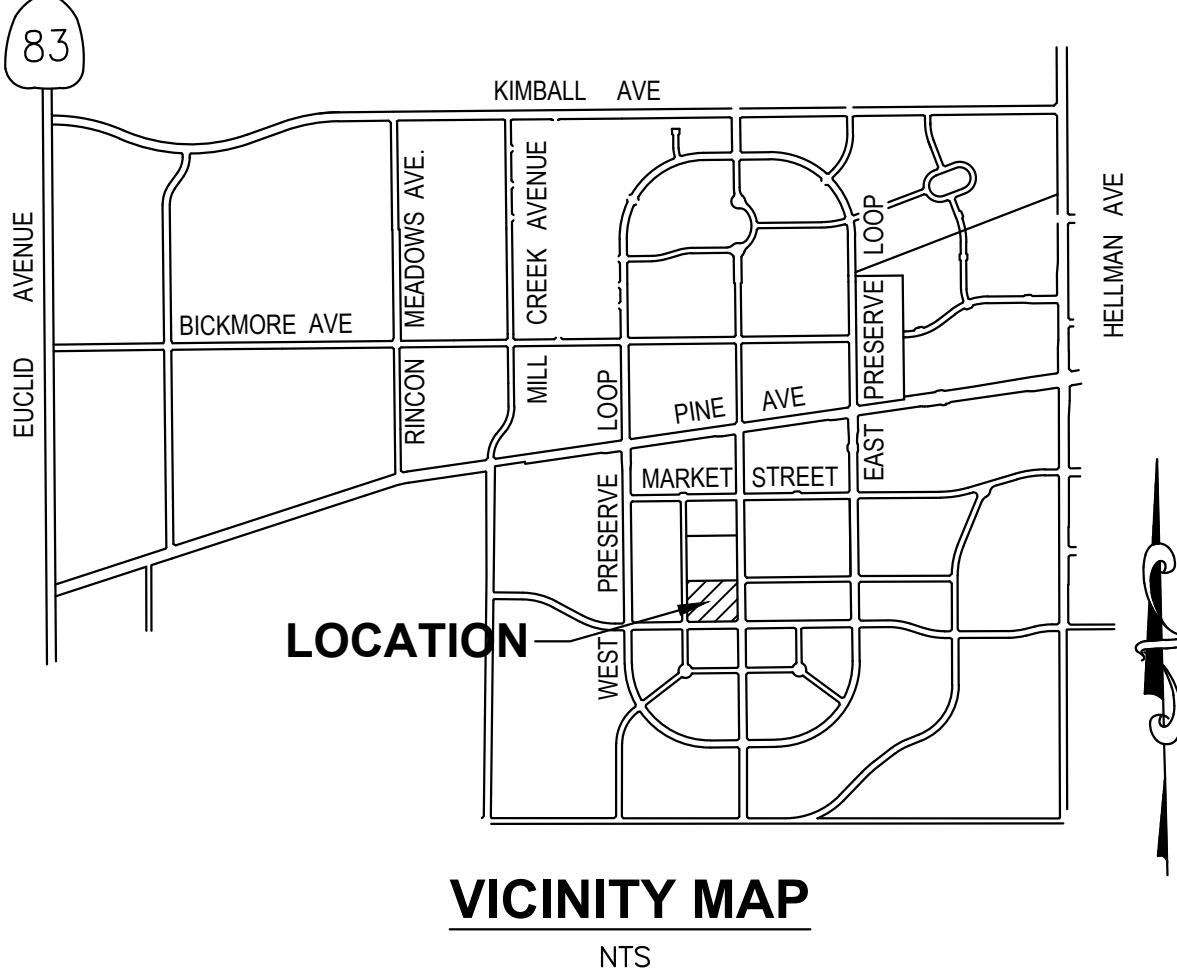
- TRACT BOUNDARY LINE
RIGHT OF WAY LINE
LOT LINE
EASEMENT LINE
EXISTING SEWER
UNIT NUMBER
PLAN NUMBER
ELEVATION STYLE
3-STORY UNIT

SITE #	DESCRIPTION	FRONTAGE REQUIREMENTS	TR/ LOT	ZONE	UNITS	ACRES	DENSITY	LANDSCAPE COVERAGE
SITE 4	NEW 3-STORY DETACHED FOR-SALE PRODUCT.	UNIT ENTRIES TO FRONT ONTO MAIN & LEGACY PARK STREET	TR 16420 LOT 48	CC16	93	6.48	14.35	20% IN ZONE CC16 PER SP TABLE 3

ENHANCEMENT LEGEND

- ENHANCED SIDE ELEVATION
PRIMARY CORNER
SECONDARY CORNER
ALLEY END ACCENT FEATURE

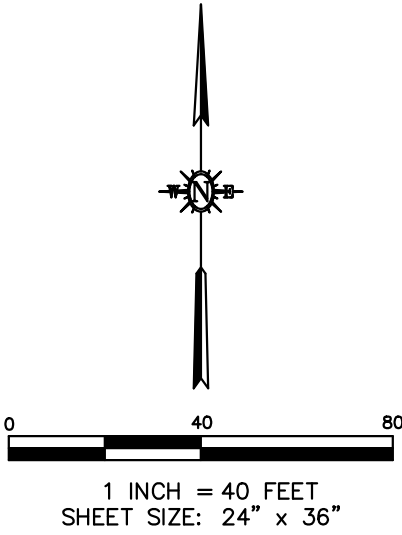
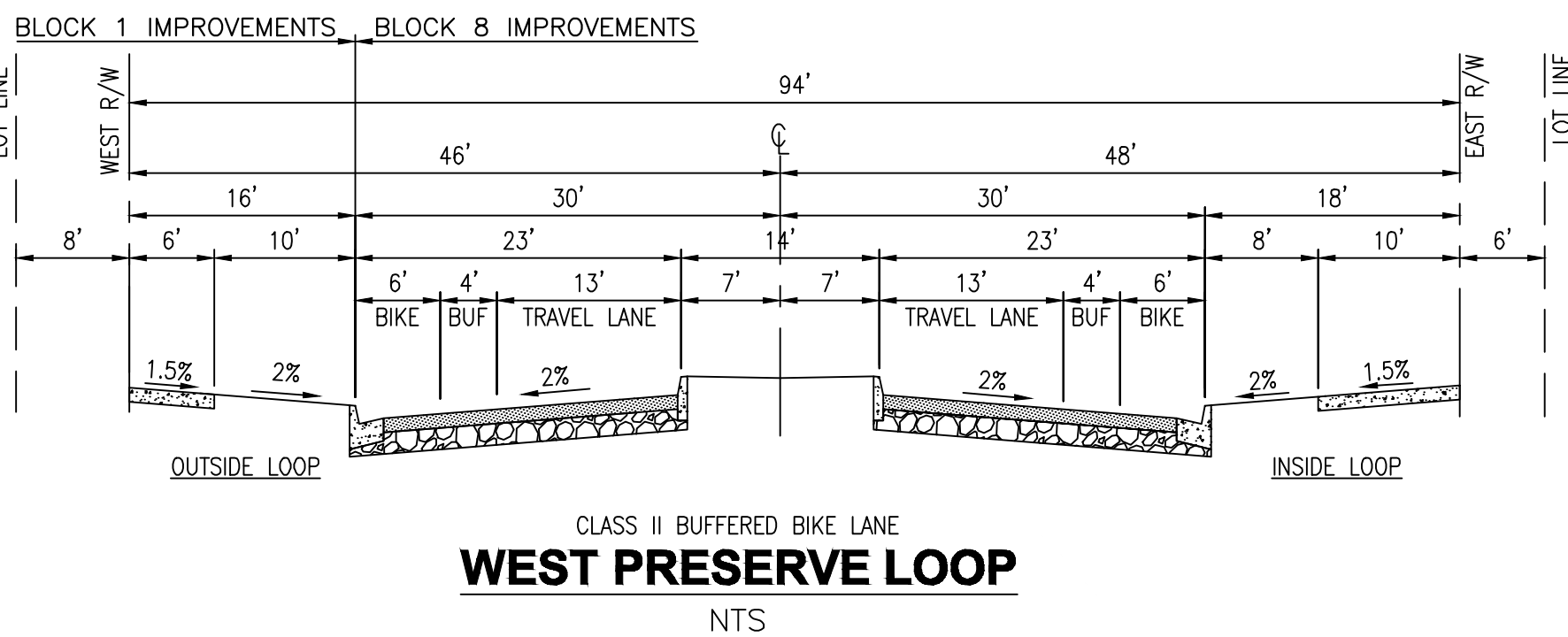
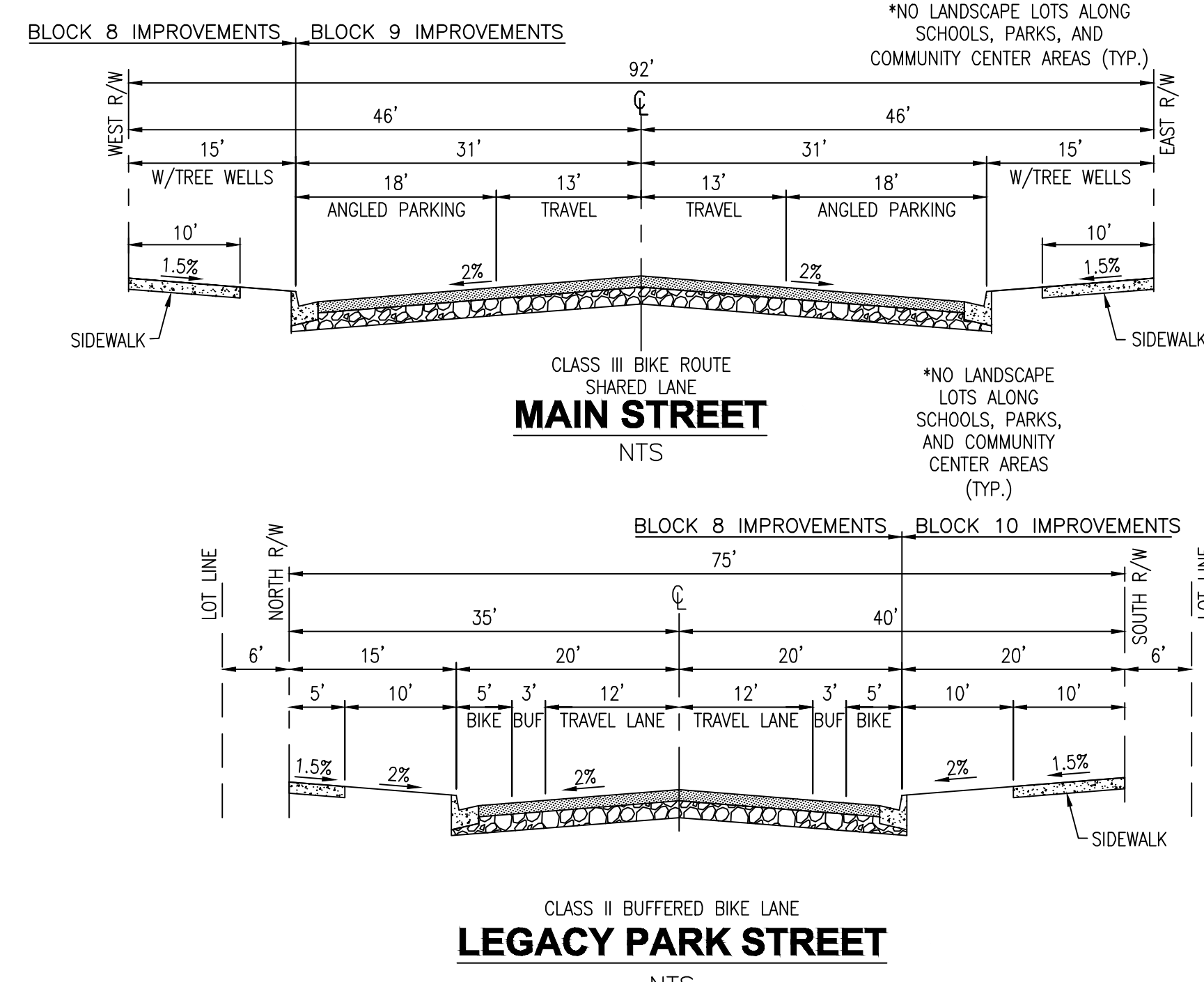
BLOCK 8 - SITE SUMMARY TABLE			
ELEVATION	PLAN 1	PLAN 2	PLAN 3
A - ADAPTIVE FARMHOUSE	6	12	7
B - INDUSTRIAL	8	3	11
C - MAIN STREET	6	11	8
(ENHANCED) A - ADAPTIVE FARMHOUSE	1	3	3
(ENHANCED) B - INDUSTRIAL	1	4	3
(ENHANCED) C - MAIN STREET	5	0	1
TOTAL	27	33	33
GRAND TOTAL			93



SITE PLAN

TRACT No. 16420
LOT 48

August 28, 2025

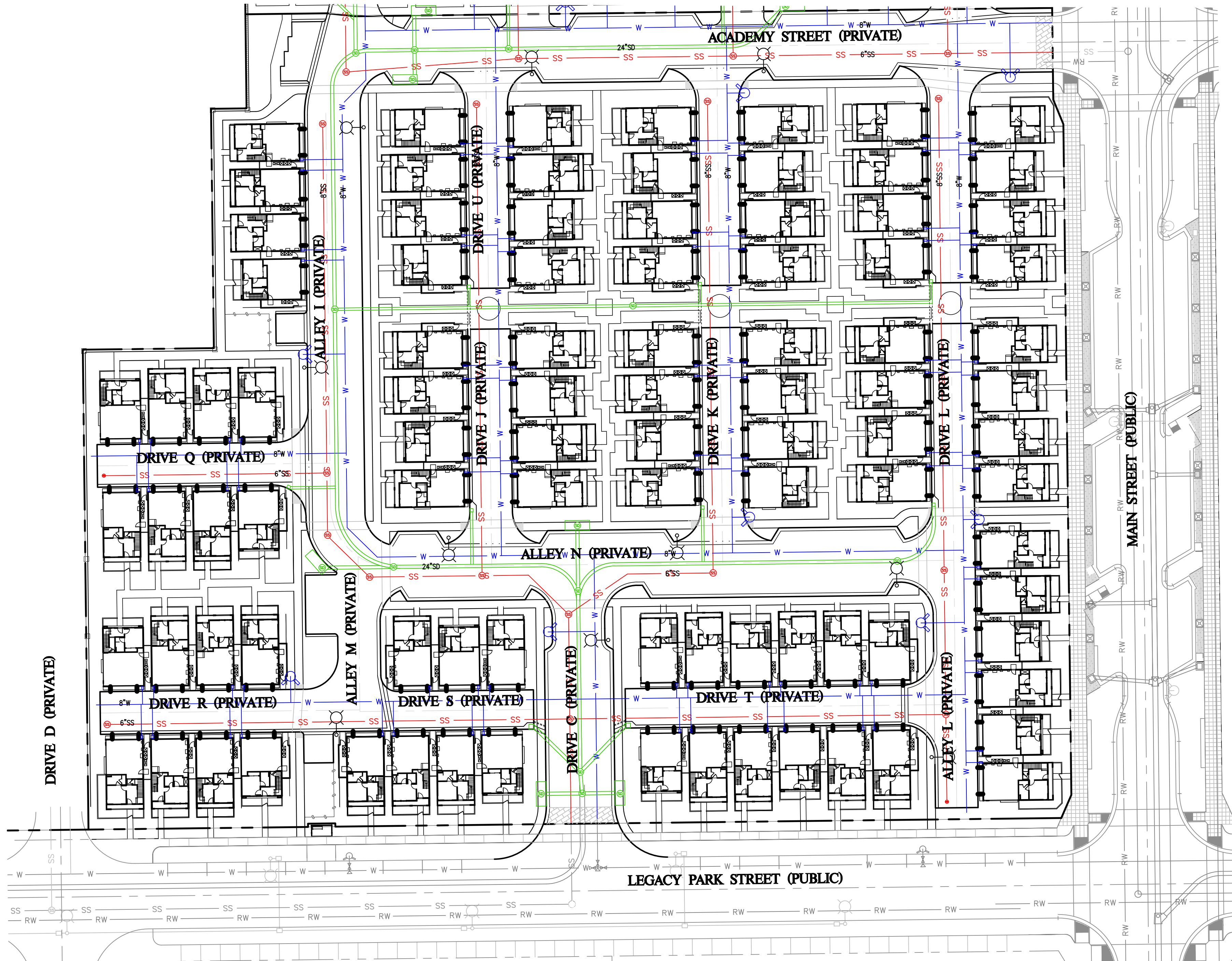


CONCEPTUAL UTILITIES
TRACT NO. 16420 LOT 48

IN THE CITY OF CHINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
A PORTION OF GOVERNMENT LOTS 3 AND 4 AND A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4
AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 7
WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.

CANNON CORP.

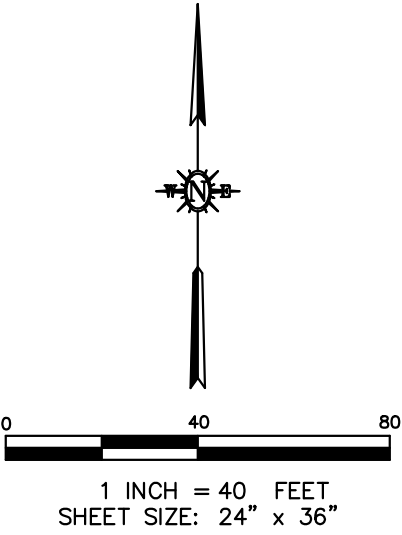
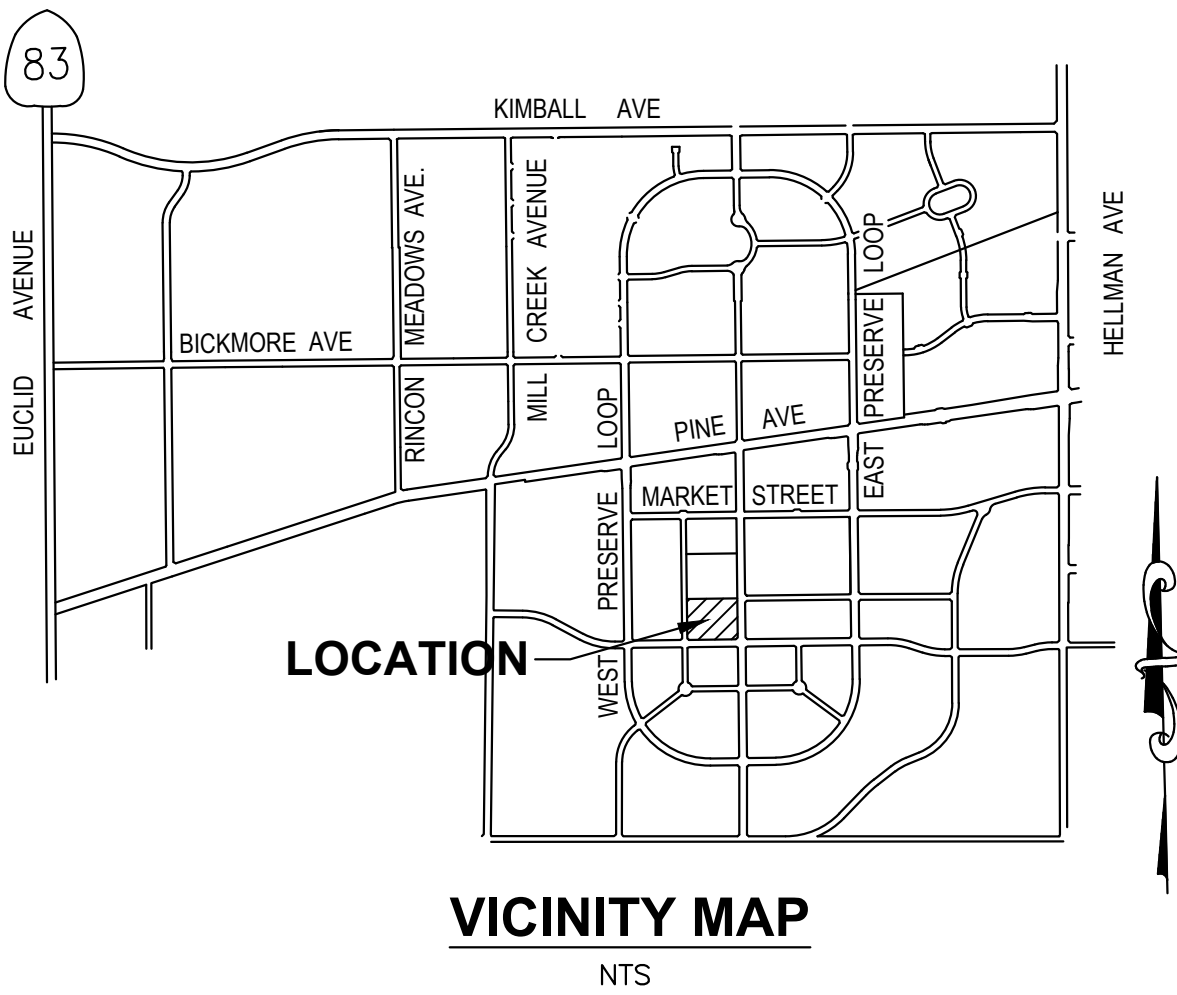
August 2025



LEGEND

	BLACK & IMPROVEMENT BOUNDARY
	RIGHT OF WAY LINE
	EASEMENT LINE
	PROPOSED PRIVATE SEWER
	EXISTING PUBLIC SEWER
	PROPOSED PUBLIC DOMESTIC WATER
	EXISTING PUBLIC DOMESTIC WATER
	EXISTING PUBLIC RECYCLED WATER
	PROPOSED PRIVATE STORM DRAIN
	EXISTING PUBLIC STORM DRAIN
	PROPOSED STORM DRAIN CATCH BASIN
	EXISTING STORM DRAIN CATCH BASIN
	PROPOSED STREET LIGHT

- NOTE:
- PIPE SIZES SHOWN HEREON MAY VARY AND ARE SUBJECT TO CHANGE. FINAL PIPE SIZES MUST BE BASED ON CURRENT DIF/MASTER PLANS OR STUDIES PERFORMED AT TIME OF DEVELOPMENT WITH EACH PHASE.
 - UTILITIES SHOWN IN THE PUBLIC RIGHT-OF-WAY ARE PUBLIC.
 - SEWER AND STORM DRAINS IN THE PRIVATE ALLEYS AND DRIVES ARE PRIVATE.
 - DOMESTIC WATER IN THE PRIVATE ALLEYS AND DRIVES ARE PUBLIC UP TO THE WATER METERS. EASEMENTS WILL BE PROVIDED FOR PUBLIC DOMESTIC WATER AT FINAL DESIGN.
 - UTILITIES TO BE SLEEVED UNDER DECORATIVE HARDSCAPE.
 - BACKWATER FLOW (BF) DEVICES PER FINAL DESIGN.



CONCEPTUAL UTILITIES
TRACT No. 16420
LOT 48

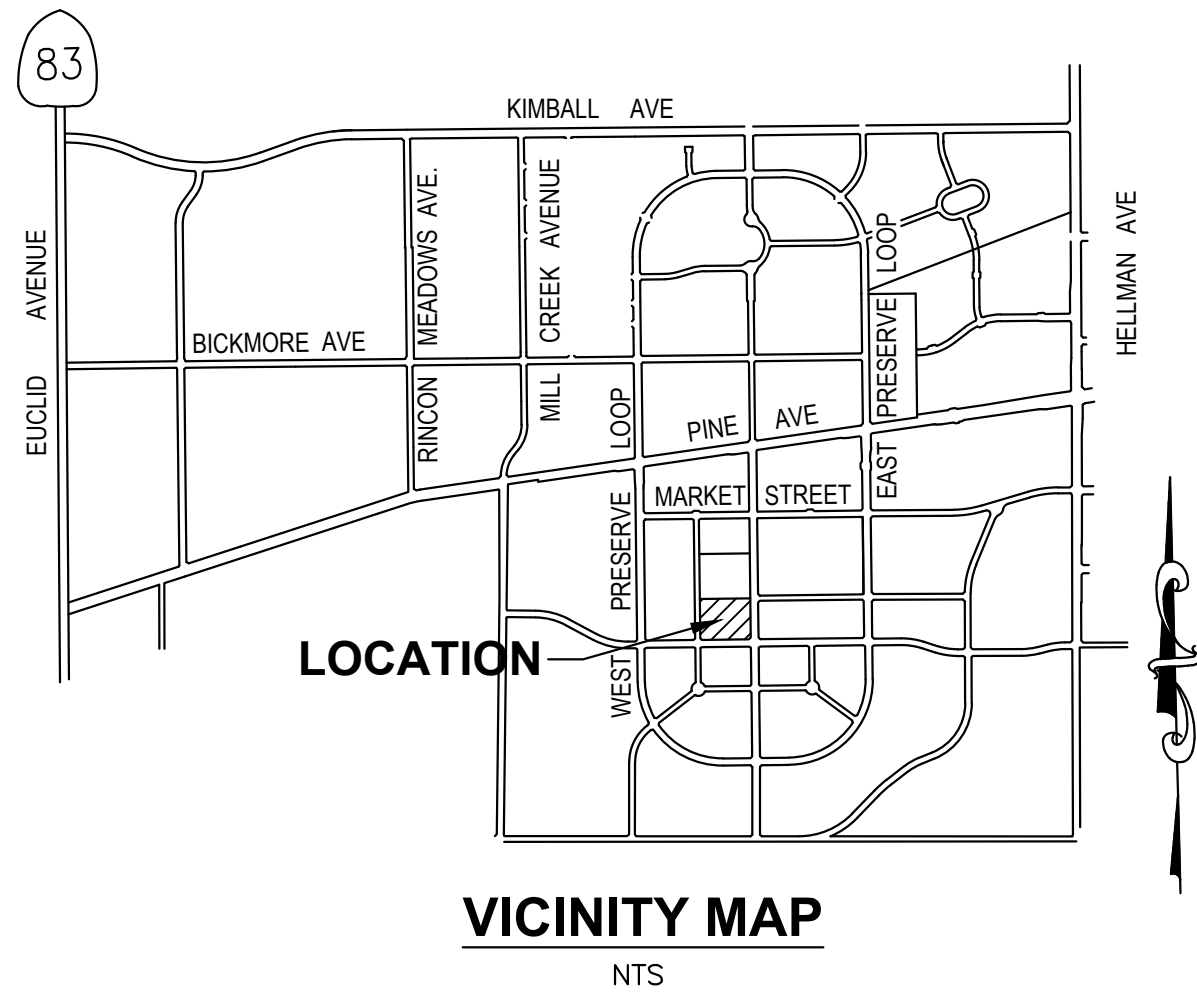
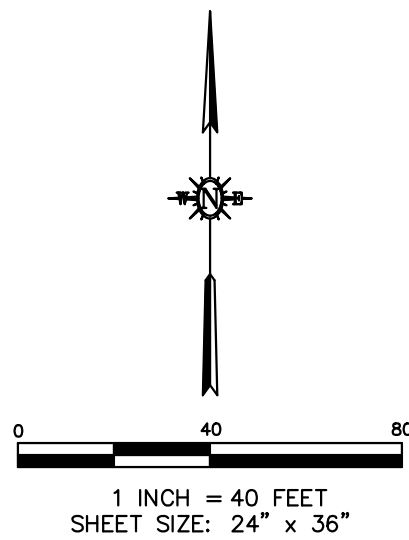
August 28, 2025

CONCEPTUAL GRADING
TRACT NO. 16420 LOT 48

IN THE CITY OF CHINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
A PORTION OF GOVERNMENT LOTS 3 AND 4 AND A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4
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WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.

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August 2025



CONCEPTUAL GRADING
TRACT No. 16420
LOT 48

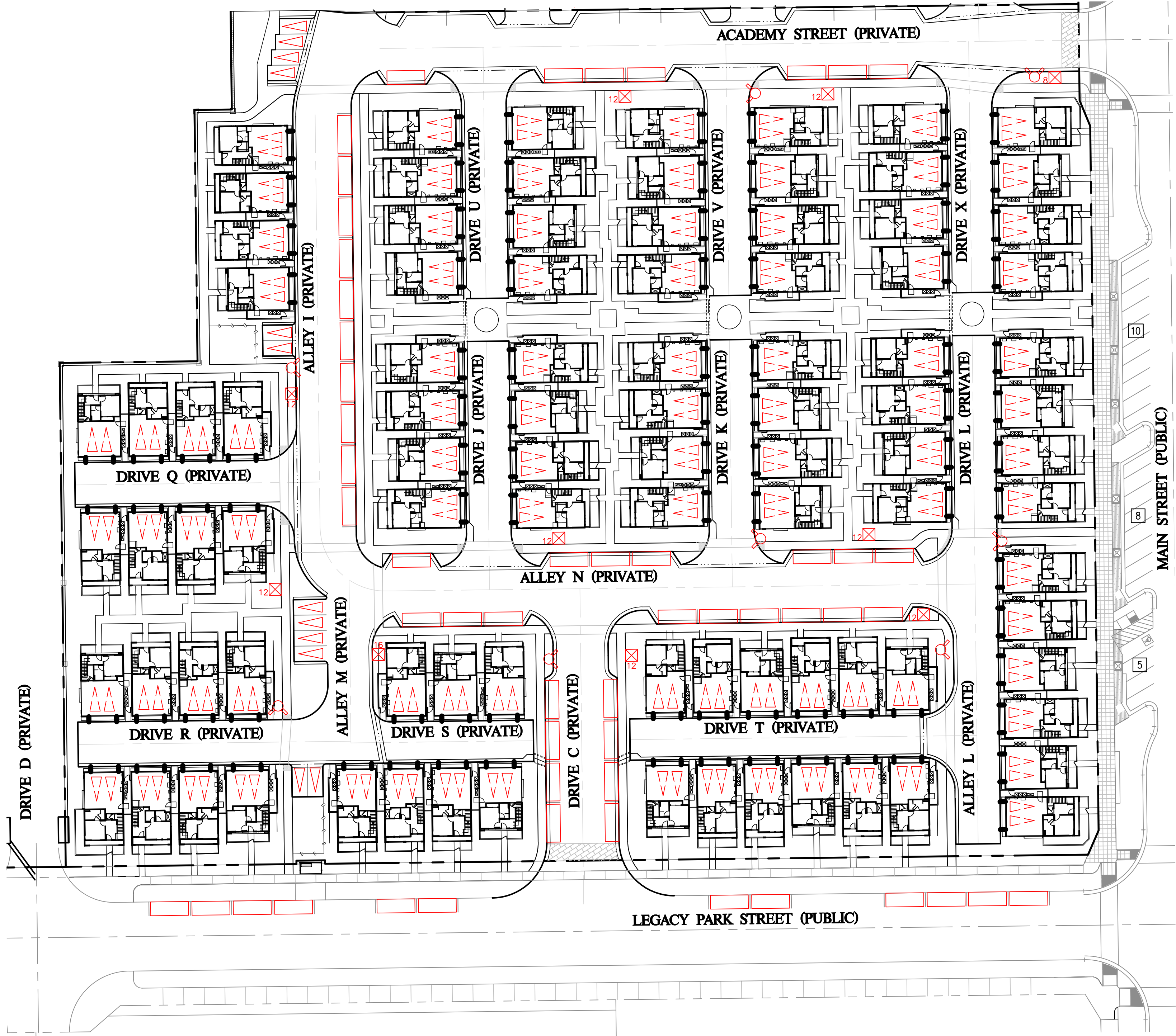
August 28, 2025

PARKING PLAN
TRACT NO. 16420 LOT 48

IN THE CITY OF CHINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
A PORTION OF GOVERNMENT LOTS 3 AND 4 AND A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4
AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 7
WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.

CANNON CORP.

August 2025



LEGEND

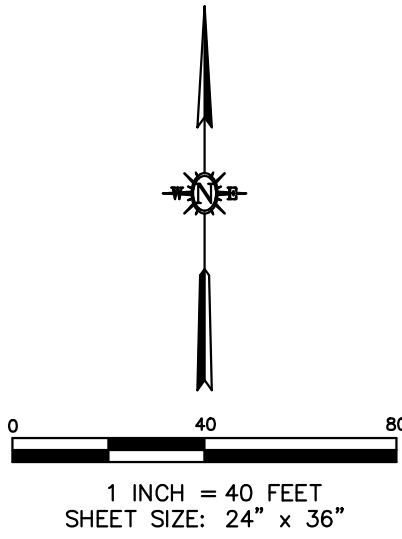
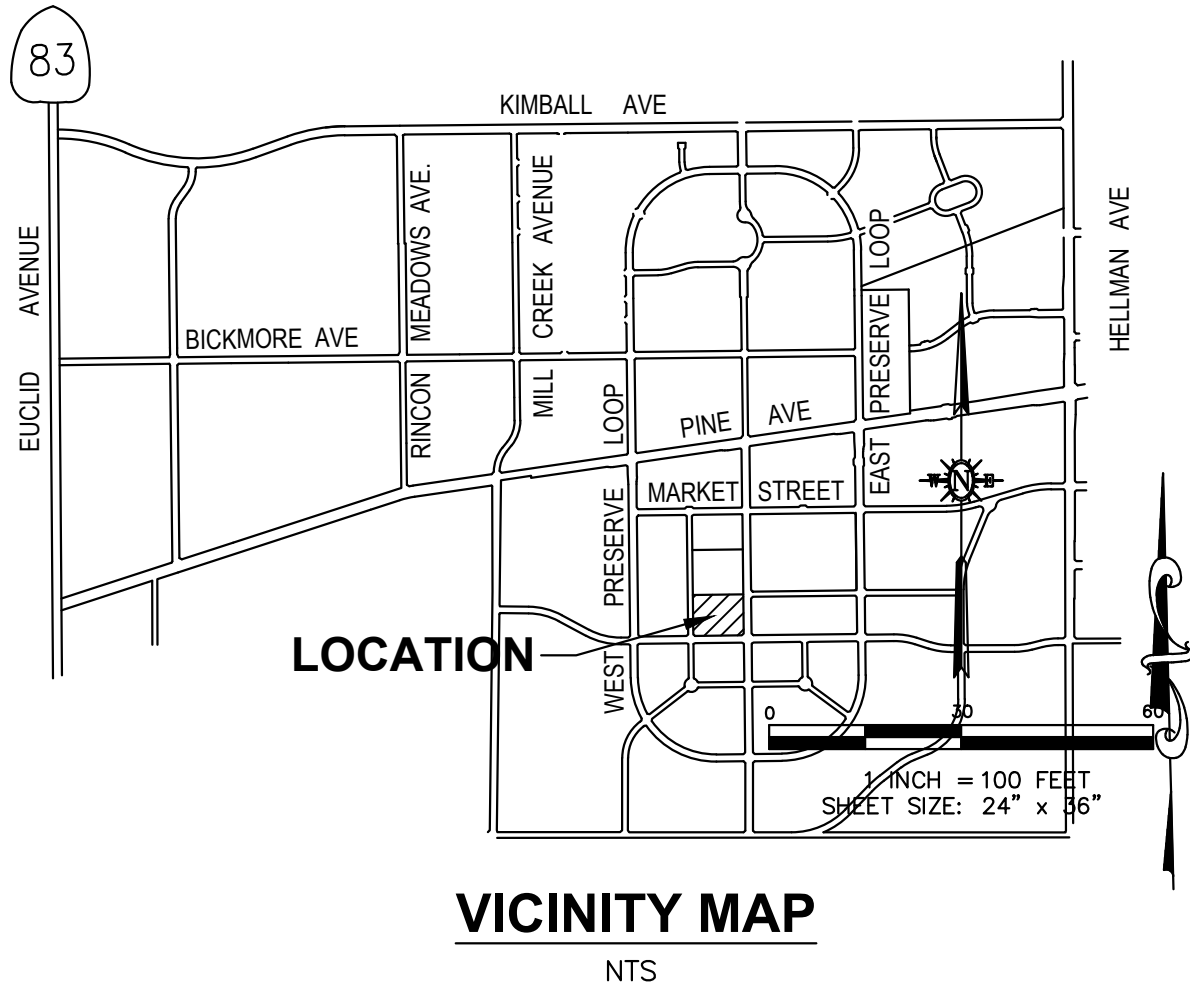
- TYPICAL CAR STALL (9'X18 PLUS OVERHANG)
- TYPICAL GARAGE CAR STALL (20'X20' INTERIOR DIMENSION)
- TYPICAL STREET CAR STALL (8'X22')
- PROPOSED FIRE HYDRANT
- PROPOSED MAILBOXES

PARKING SUMMARY

REQUIRED PARKING:	
93 X 2 COVERED SPACES =	186 STALLS
GUEST SPACES =	10 STALLS
TOTAL REQUIRED SPACES =	196 STALLS

PROPOSED PARKING:	
93 X 2 GARAGE SPACES =	186 STALLS
ON-SITE DRIVEWAY SPACES =	0 STALLS
LOCAL STREET SPACES =	65 STALLS
TOTAL PROPOSED SPACES =	251 STALLS

PARKING RATIO = 251/93 = 2.70



PARKING PLAN
TRACT No. 16420
LOT 48

August 28, 2025

WASTE MANAGEMENT COLLECTION PLAN
TRACT NO. 16420 LOT 48

IN THE CITY OF CHINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
A PORTION OF GOVERNMENT LOTS 3 AND 4 AND A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4
AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 7
WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.

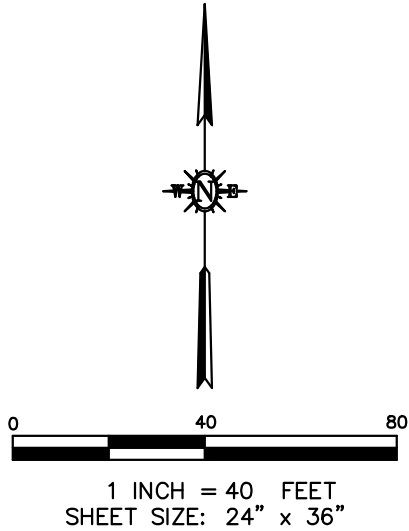
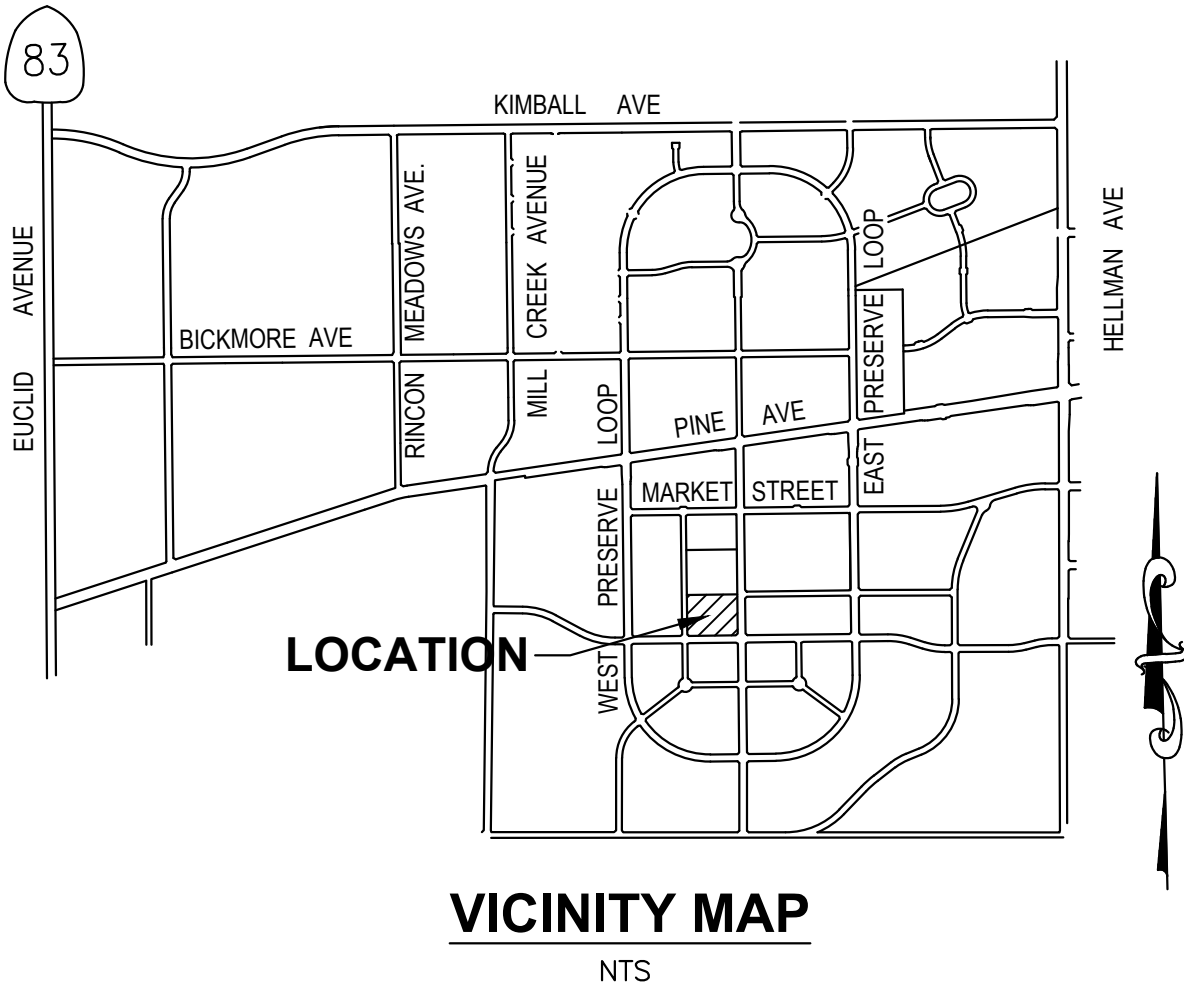
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August 2025



LEGEND

- PROPOSED FIRE HYDRANT
- WASTE CONTAINERS PICK UP AREA
- WASTE CONTAINER
- RECYCLABLES CONTAINER
- GREEN WASTE CONTAINER



WASTE MANAGEMENT
COLLECTION PLAN
TRACT No. 16420
LOT 48

August 28, 2025



BLOCK 8

TR. 16420 LOTS 45 - DETACHED CONDO 3-STORY (93 UNITS)	
TOTAL OPEN SPACE CALCULATION	
TOTAL SITE AREA	268,403 SF
TOTAL PUBLIC OPEN SPACE AREA	77,795 SF
PERCENTAGE OF PUBLIC OPEN SPACE	29%

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE
	Ulmus parvifolia "Drake"	Evergreen Elm	M	24" Box
	Pistacia chinensis	Chinese Pistache	M	24" Box
	Arbutus "Marina"	Strawberry Tree	M	24" Box
Community Trees				
	Bauhinia purpurea	Orchid Tree	M	24" Box
	Geijera parviflora	Australian Willow	L	24" Box
	Magnolia g. "Samuel Sommers"	Southern Magnolia	M	24" Box
	Koeberlinia bipinnata	Chinese Flame Tree	M	24" Box
	Jacaranda mimosifolia	Jacaranda	M	24" Box
	Platanus racemosa	California Sycamore	M	24" Box
	Tristania conferta	Brisbane Box	M	24" Box
	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	M	24" Box
	Raphiolepis 'Majestic Beauty'	Majestic Beauty	M	15 Gal.
	Magnolia soulangeana	Saucer Magnolia	M	15 Gal.
Main Street Tree (Per separate plan)				
	Platanus acerifolia	London Plane Tree	M	Existing
	Michelia champaca 'Alba'	Himalayan Champaca	M	Existing
	Tristania conferta	Brisbane Box	M	Existing
Legacy Park Street Tree (Per separate plan)				
	Quercus agrifolia	Coast Live Oak	L	Existing
	Pinus clidaris	Afghan Pine	L	Existing

SHRUBS	BOTANICAL NAME	COMMON NAME
	ACCENT SHRUBS	
	Chamaecyparis humilis	Mediterranean Fan Palm
	Dietes grandiflora	Fortnight Lily
	Podocarpus macrophyllus 'Maki'	Shrubby Yew Pine
	Rosa f. 'Trumpeter'	Trumpeter Rose
	Strelitzia reginae	Bird-of-Paradise
	Strelitzia reginae	Giant Bird of Paradise
	MEDIUM SHRUBS - GENERAL PALETTE	
	Buddleja davidii	Butterfly Bush
	Callistemon viminalis 'LittleJohn'	Dwarf Bottlebrush
	Chondropetalum tectorum	Cape Rush
	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
	Lomandra longifolia 'LM500'	Breeze Dwarf Mat Rush
	Pittosporum tobira 'Wheelerii'	Wheeler's Dwarf Tobira
	LOW ACCENT SHRUBS	
	Agave 'Blue Flame'	Blue Flame Agave
	Buxus microphylla japonica	Japanese Boxwood
	Dianella tasmanica 'Silver Streak'	Silver Streak Flax Lily
	Dianella revoluta 'DR5000'	Little Rev Flax Lily
	Salvia greggii	Red Salvia
	LOW SHRUBS/GROUND COVER - GENERAL PALETTE	
	Senecio mandraliscae	Blue Chalk Sticks
	Festuca ovina "Glaucia"	Blue Fescue
	Myoporum parvifolium 'Pink'	Prostrate Myoporum
	Rosa x 'Noare'	Flower Carpet Rose
	Sisyrinchium bellum	Blue-eyed Grass
	PARKWAY PLANTING	
	Myoporum parvifolium 'Pink'	Prostratum Myoporum
	Rosa x 'Noare'	Flower Carpet Rose
<p>*The parkway is to be planted in a combination of two plant types. These are to be planted so as 75% is to be one species and 25% is to be the other (75% Myoporum, 25% Rosa)</p>		
	VINES & ESPALIERS	
	Clematis armandii	Evergreen Clematis
	Gelsemium sempervirens	Carolina Jessamine
	Pandorea jasminoides	Bower Vine
	Trachelospermum jasminoides	Star Jasmine
	Wisteria floribunda	Japanese Wisteria
	VINE NOTE:	
	Vines shall be planted on walls adjacent to open space, walk through and alleyways.	

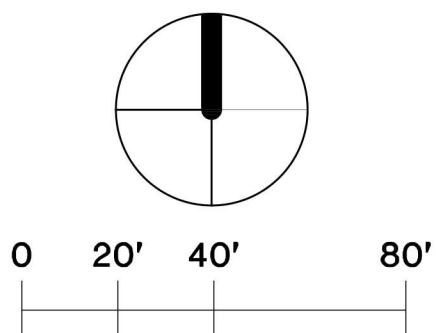
MISCELLANEOUS NOTE:

- Vines shall be planted on walls adjacent to open space, walk through and alleyways.
- Full perimeter tree barriers to be used to prevent damage to water meters.
- Recycled water to be used for parkway landscaping.
- Final recycled water meter locations to be shown on Construction Documents.
- A mulch bed of at least 3" of thickness shall be applied where appropriate.
- All 24" or smaller size trees shall be double staked. All 30" box trees or larger shall be provided with guy wires or reinforced double stakes.
- Trees located within 5 feet of any paved surface shall be provided with root barriers. Root barriers should be linear and not encircling the tree.

CONCEPTUAL LANDSCAPE SITE PLAN L1
BLOCK 8 AT THE PRESERVE - 3-STORY PRODUCT

Chino Preserve Development Corp.

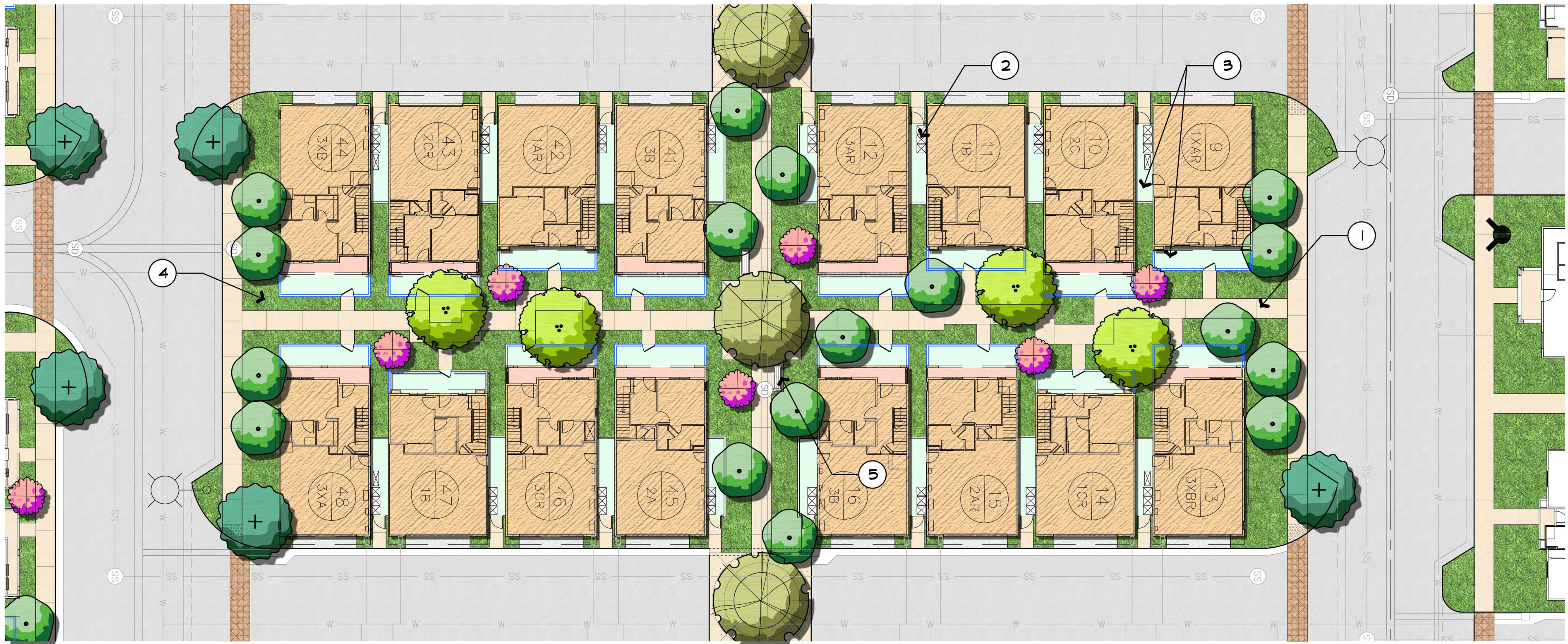
1156 North Mountain Avenue
P. O. Box 670
Upland, California 91785
909.946.7523





S I T E S C A P E S
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Palomares, License # 2782
(949) 644-9370 FAX (714) 210-3140

JOB# 24-014 DATE: 06-09-2025



- LEGEND**
- ① WALKWAY
 - ② TRASH/RECYCLED CANS
 - ③ PRIVATE OPEN SPACE (200 SF. MIN.)
 - ④ H.O.A LANDSCAPE AREA
 - ⑤ BENCH

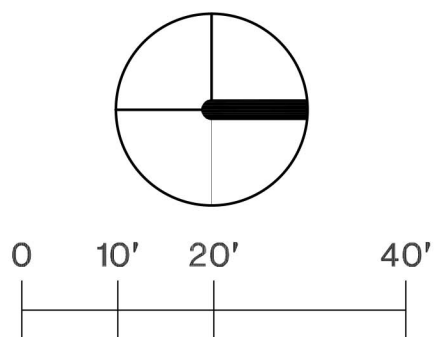
3-STORY PASEO ENLARGEMENT

TYPICAL PASEO ENLARGEMENT L2

BLOCK 8 AT THE PRESERVE - 3-STORY PRODUCT

Chino Preserve Development Corp.

1156 North Mountain Avenue
P. O. Box 670
Upland, California 91785
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JOB# 24-014 DATE: 06-09-2025



LEGEND

NOTES:
ALL WALLS, COLUMNS, MARKERS AND SIGNS TO BE CLEAR OF LINE-OF-SIGHT REQUIREMENTS.

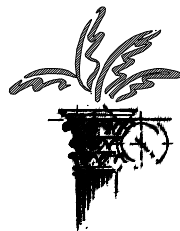
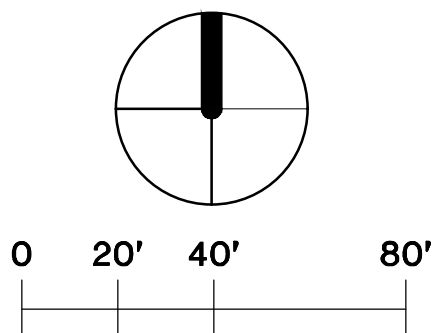
- 6' HT. SPLIT FACE COMMUNITY WALL
SEE DETAIL 1, SHEET L4
- 6' HT. COMBO WALL
SEE DETAIL 2, SHEET L4
- 24" SQ. PERIMETER PILASTER
SEE DETAIL 3, SHEET L4
- 16" SQ. SPLIT FACE PILASTER
SEE DETAIL 4, SHEET L4
- 6' HT. SPLIT FACE BLOCK INTERNAL WALL
SEE DETAIL 1, SHEET L4
- VINYL COURTYARD GATE
SEE DETAIL 5, SHEET L4
- 3' HT. PATIO WALL w/ VINYL GATE
SEE DETAIL 6, SHEET L4

FENCE AND WALL PLAN BLOCK 8 AT THE PRESERVE - 3-STORY PRODUCT

L3

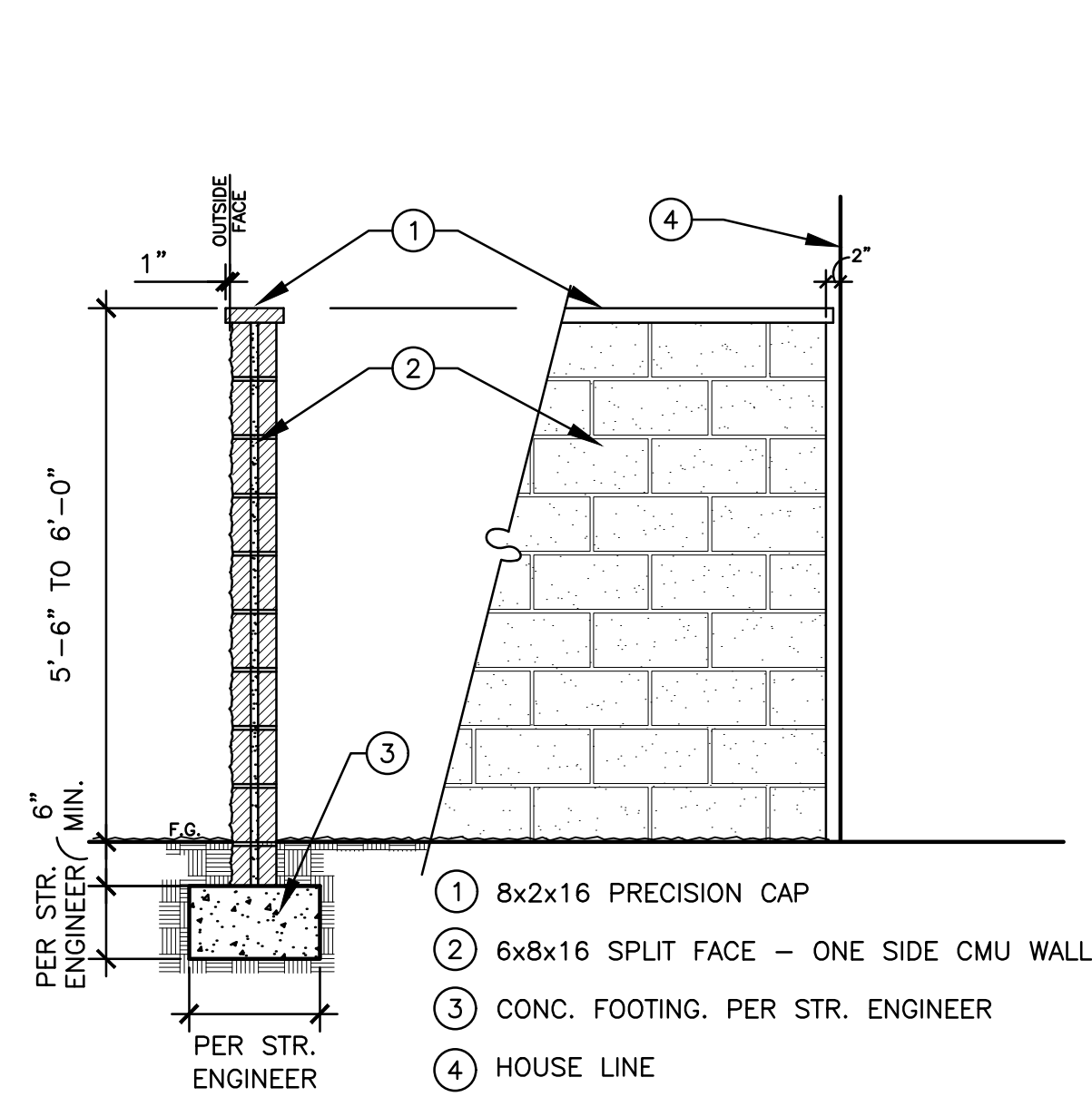
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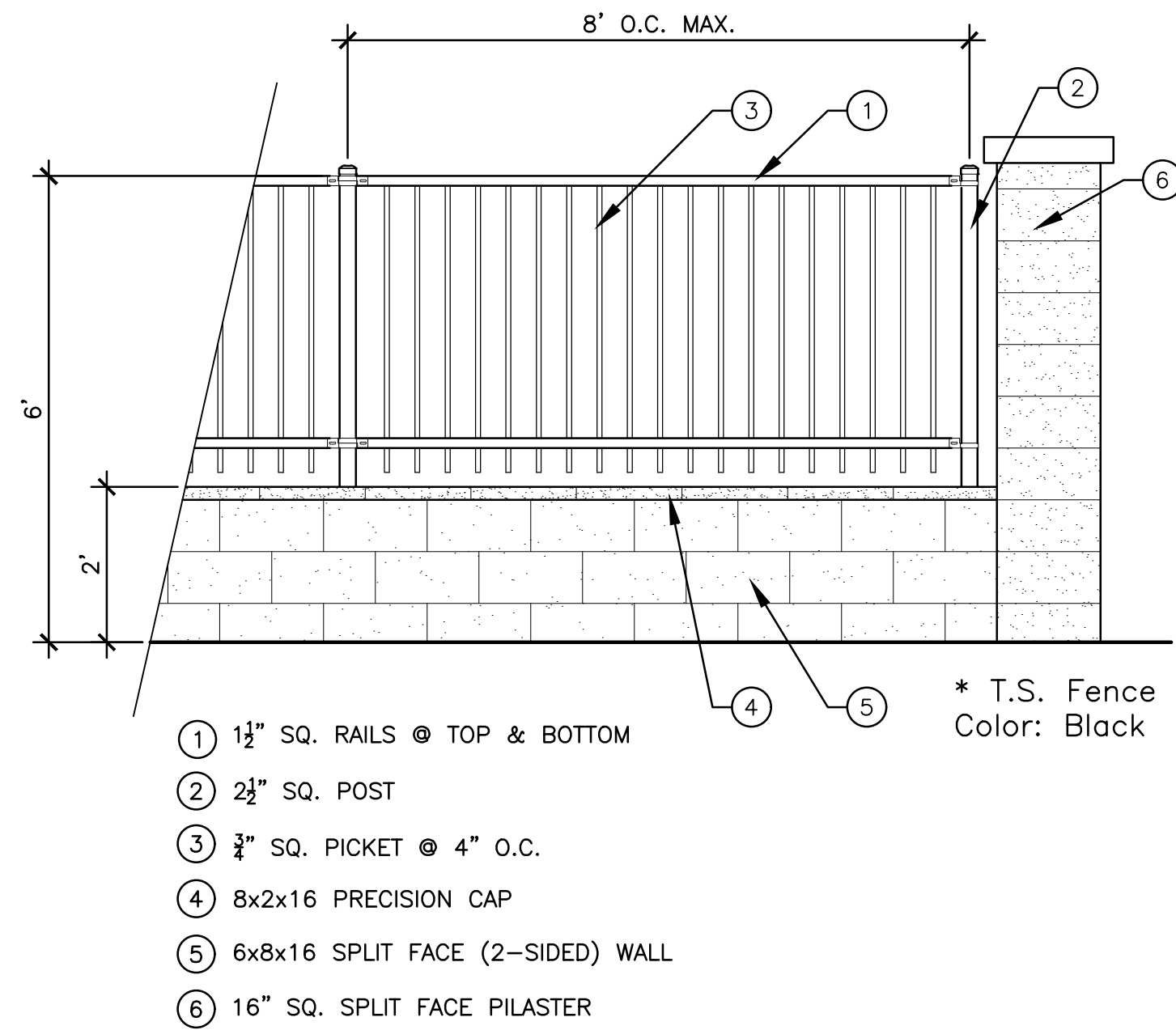
SITE SCAPES
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pathman, License # 2792
(949) 644-9370 FAX (714) 210-3140

JOB# 24-014 DATE: 06-09-2025

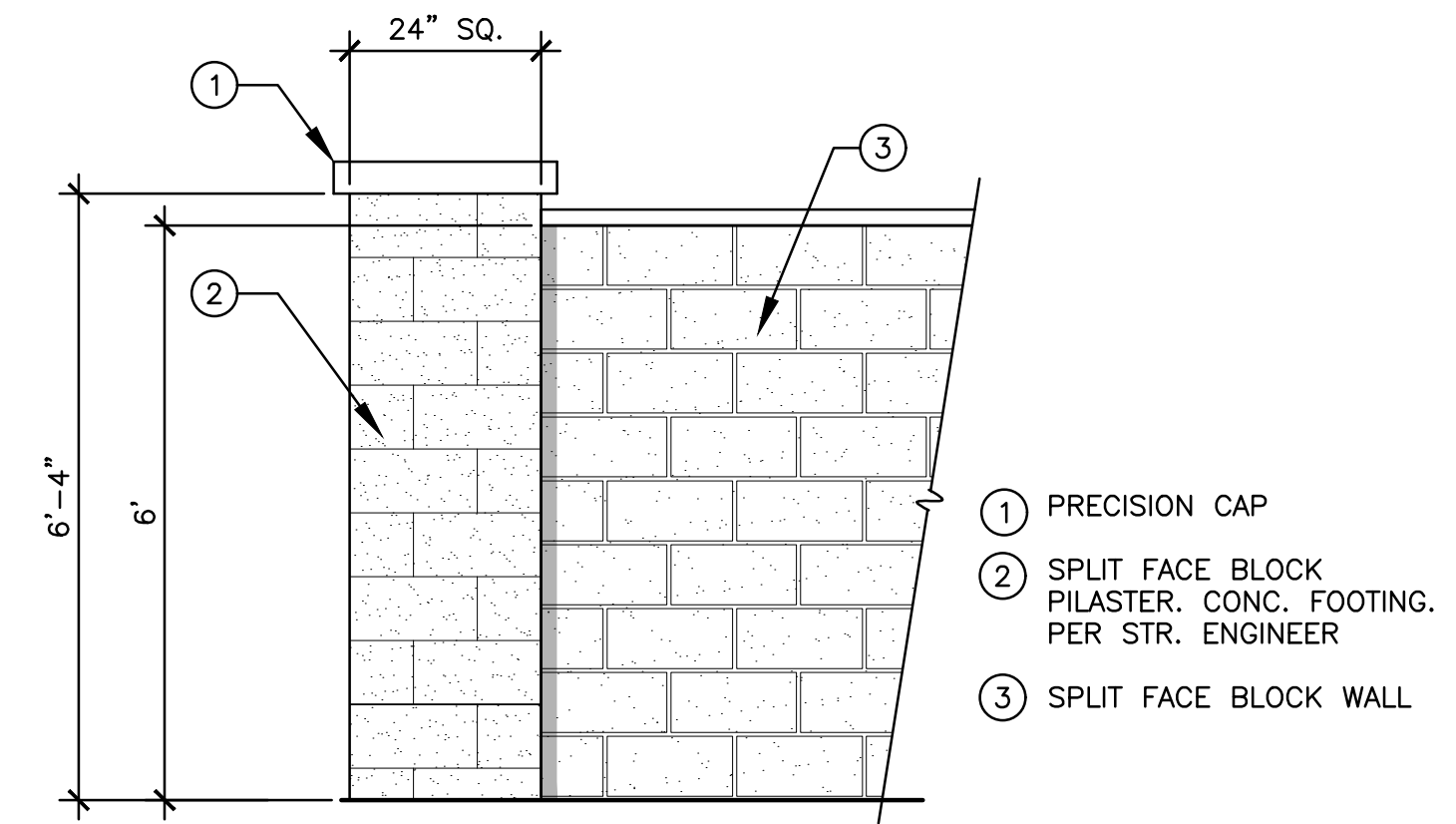


① 6' HT. SPLIT FACE BLOCK WALL

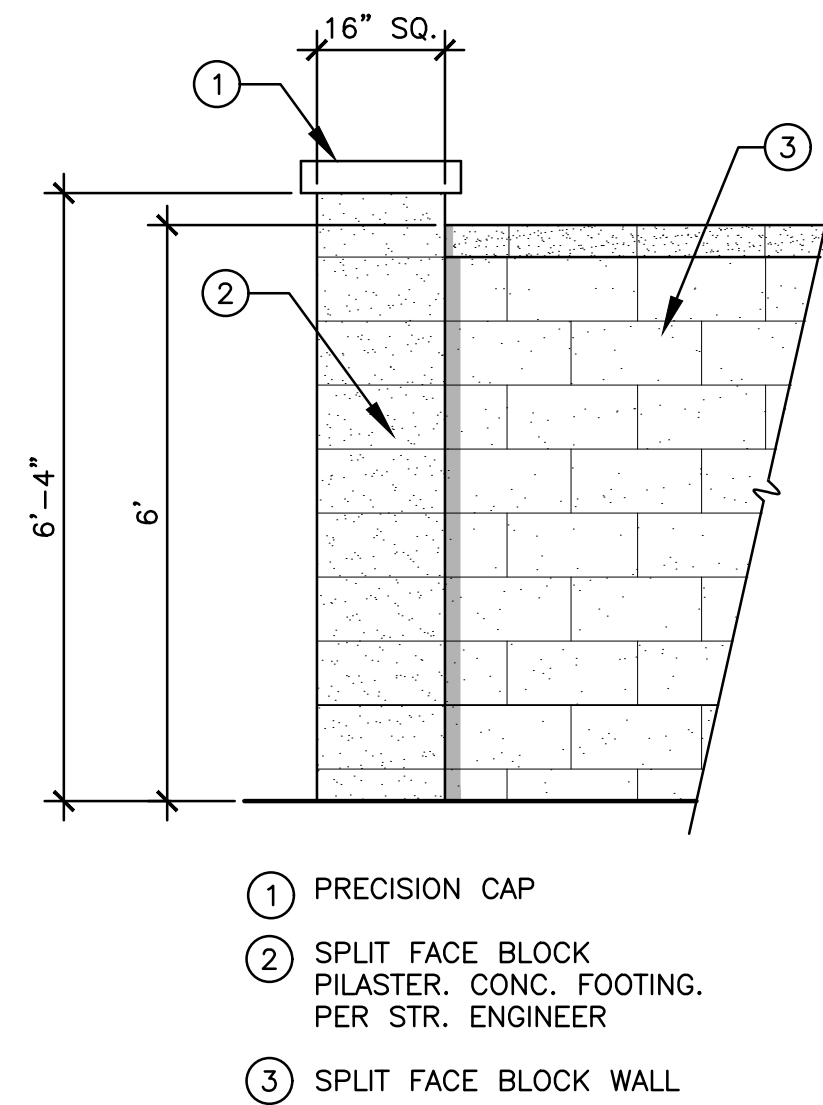
- COMMUNITY WALL
- INTERNAL WALL



② COMBO WALL

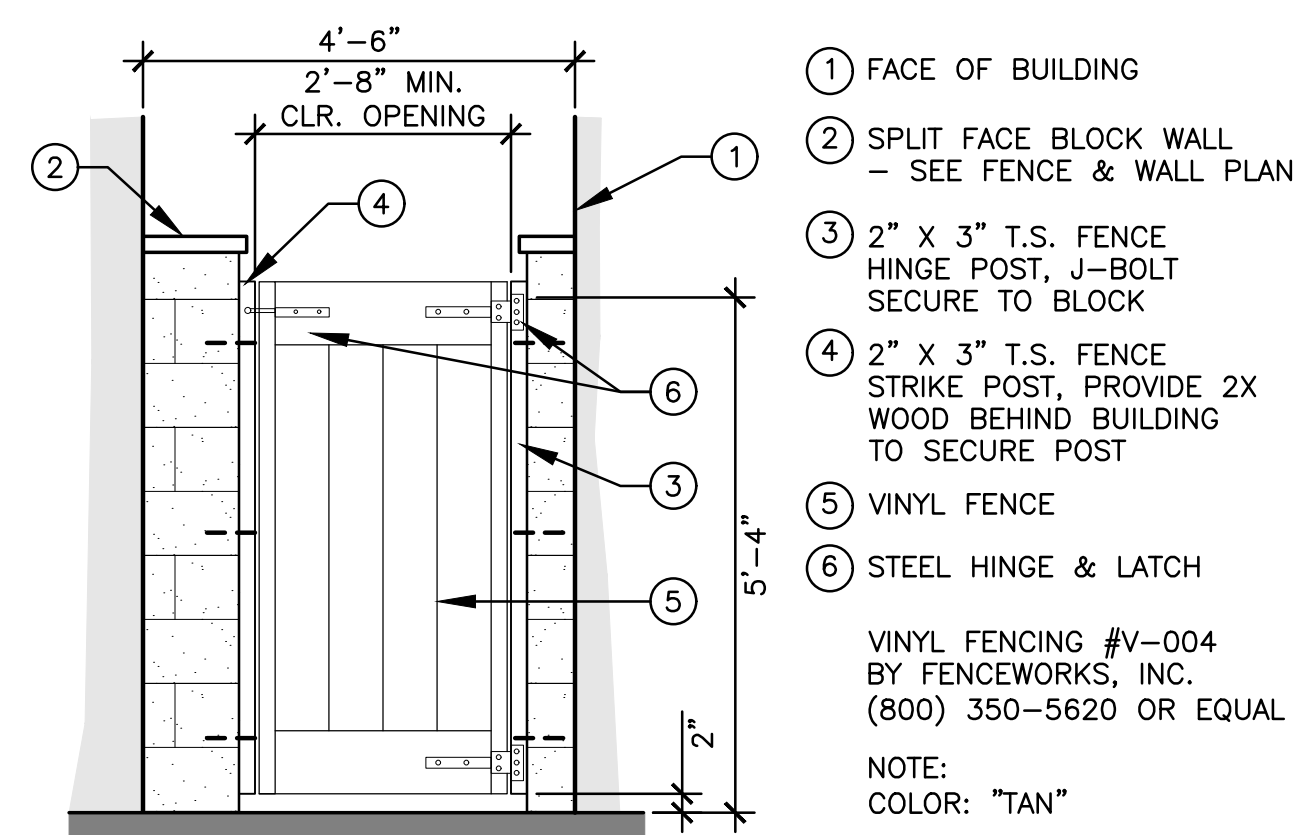


③ 24" SQ. SPLIT FACE PILASTER

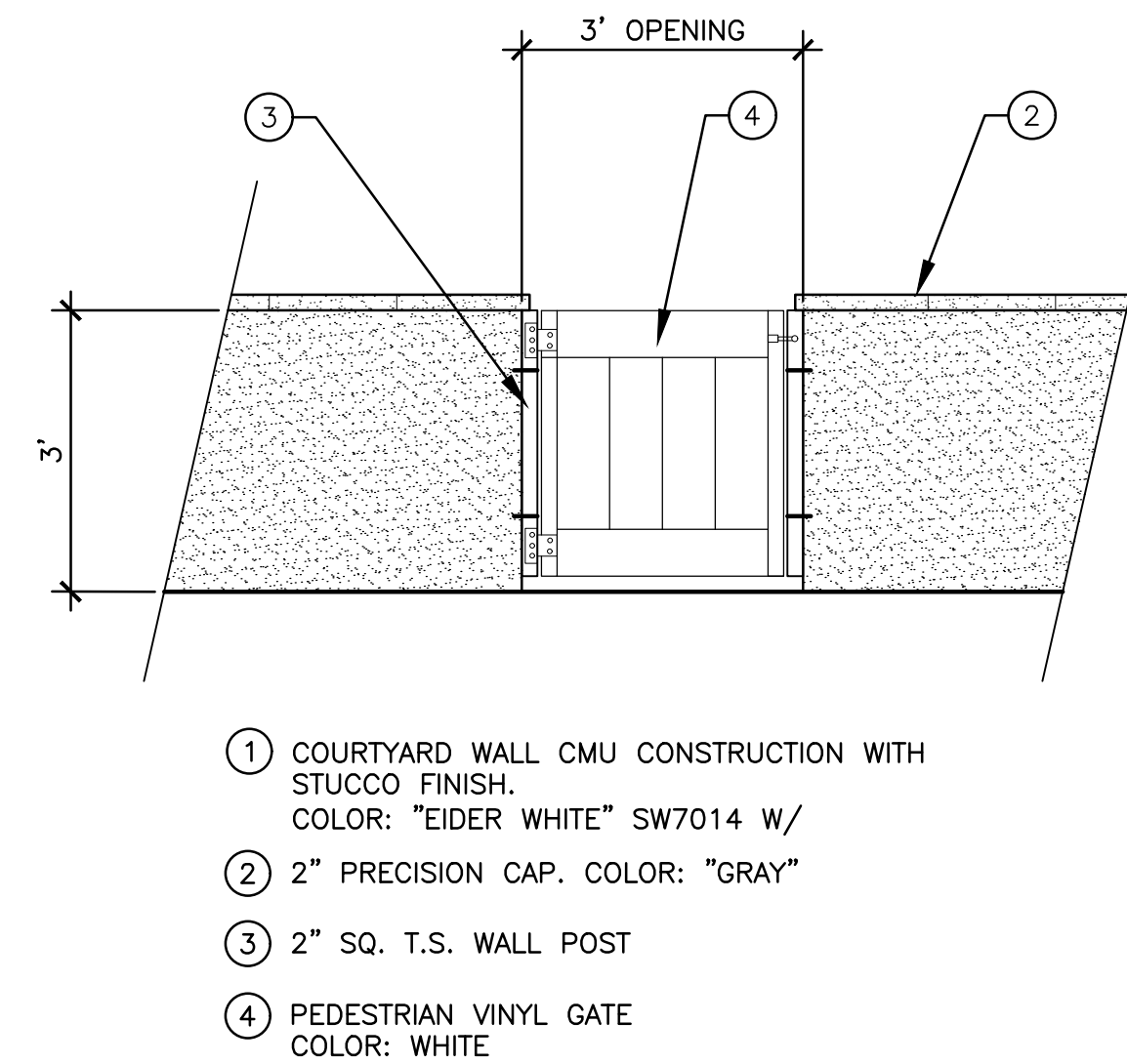


④ 16" SQ. SPLIT FACE PILASTER

NOTE:
PERIMETER WALL & PILASTER TO BE CMU BLOCK CONSTRUCTION
EXCEPT NOTED IN DETAIL TO BE:
* SPLIT-FACE BLOCK COLOR: "SIENNA BROWN" BY ANGELUS BLOCK.
* PRECISION CAP COLOR: "WARM GREY" BY ANGELUS BLOCK.



⑤ VINYL COURTYARD GATE



⑥ PATIO WALL W/ VINYL GATE

FENCE AND WALL DETAILS

L4

BLOCK 8 AT THE PRESERVE - 3-STORY PRODUCT

Chino Preserve Development Corp.

1156 North Mountain Avenue
P. O. Box 670
Upland, California 91785

909.946.7523



SITE SCAPES
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Rothman, License # 2782
(949) 644-9370 FAX (714) 210-3140

JOB# 24-014 DATE: 06-09-2025



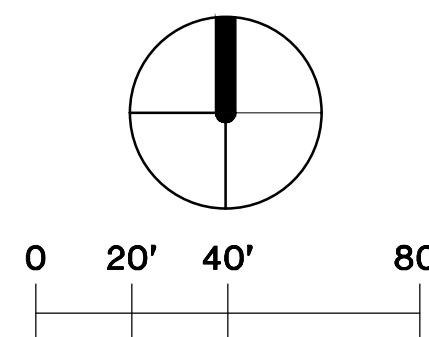
CC16 POS Requirement:
100 SF, 6' Minimum Dimension Plans 1, 2 & 3
have 100 SF Minimum Decks at 2nd Level. All
open space requirements are met in the 2nd
level decks.

PRIVATE OPEN SPACE EXHIBIT

BLOCK 8 AT THE PRESERVE - 3-STORY PRODUCT

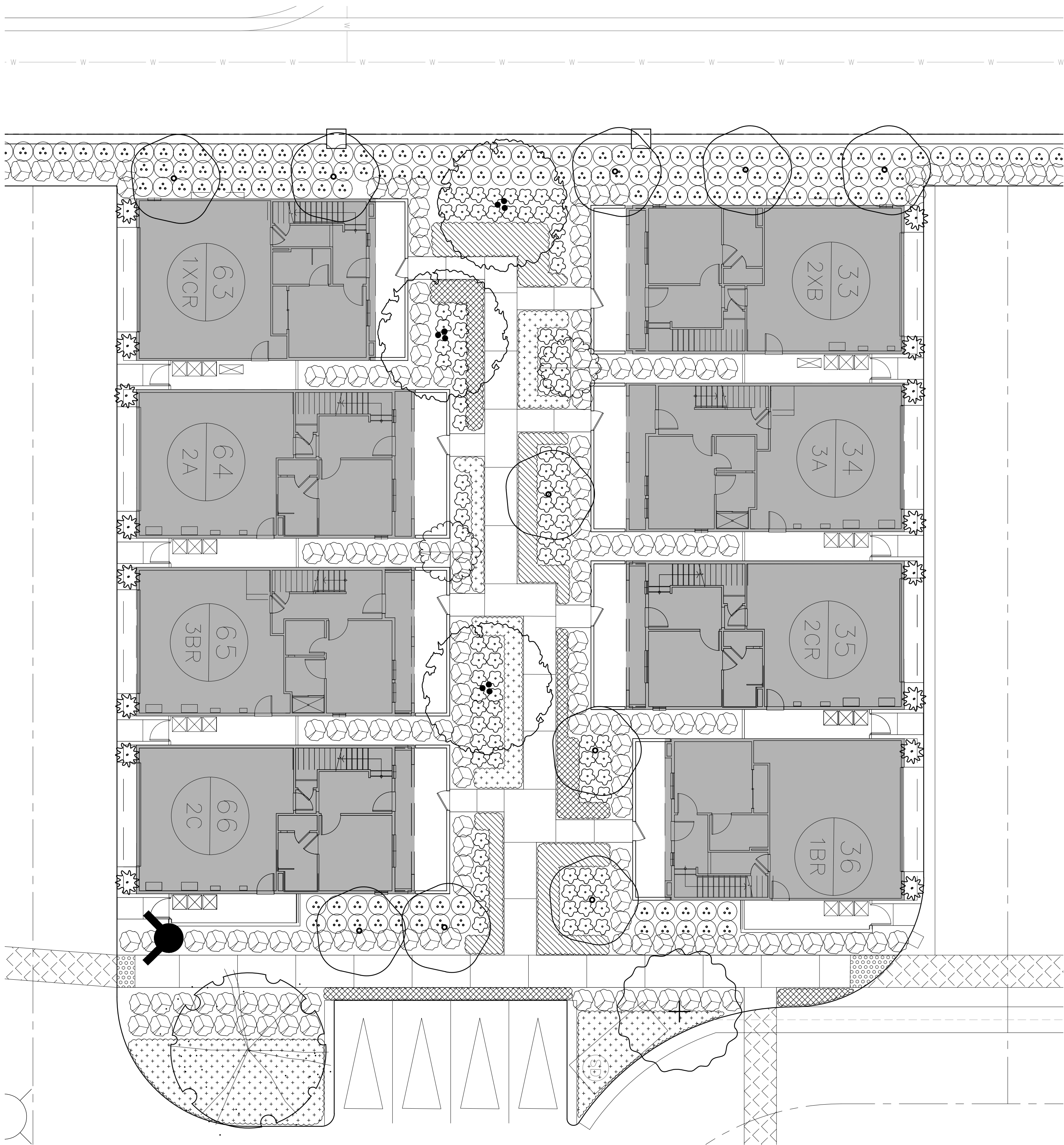
Chino Preserve Development Corp.

1156 North Mountain Avenue
P. O. Box 670
Upland, California 91785
909.946.7523



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Landscape Architecture & Planning
3190-82 Airport Loop Drive
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JOB# 24-014 DATE: 06-09-2025



PLANTING CONCEPT

The central planting theme of “3-Story Product” is to create an air of individuality within a contiguous landscape community element. This will be achieved by using a combination of plants from the approved plant list for the Preserve. There are five separate categories of plant types by form. The plant types will lay out as follows: One will be an upright accent type shrub (e.g.: Podocarpus m. 'Maki') to provide elevation enhancement at corners and entries. The second will be a will be a medium flowering type shrub (e.g.: Callistemon v. "Little John") The third low accent type plant (e.g.: Dianella t. “Silver Streak”) and the fourth are the low ground cover plant types (e.g. Senecio mandraliscae). These are to be used in a manner to create a "layered" landscape design as outlined in the Design Guidelines and will be inserted within the framework of a homogenous planting scheme that will provide the thread that will bring the neighborhood together. These landscape areas are to be HOA maintained.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE
Street Tree				
	Ulmus parvifolia "Drake"	Evergreen Elm	M	24" Box
	Pistacia chinensis	Chinese Pistache	M	24" Box
	Arbutus "Marina"	Strawberry Tree	M	24" Box
Community Trees				
	Bauhinia purpurea	Orchid Tre	M	24" Box
	Geijera parviflora	Australian Willow	L	24" Box
	Magnolia g. "Samuel Sommers"	Southern Magnolia	M	24" Box
	Koelreuteria bipinnata	Chinese Flame Tree	M	24" Box
	Jacaranda mimosifolia	Jacaranda	M	24" Box
	Platanus racemosa	California Sycamore	M	24" Box
	Tristania conferta	Brisbane Box	M	24" Box
	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	M	24" Box
	Rhaphiolepis 'Majestic Beauty'	Majestic Beauty	M	15 Gal.
	Magnolia soulangiana	Saucer Magnolia	M	15 Gal.
Main Street Tree (Per separate plan)				
	Platanus acerifolia	London Plane Tree	M	Existing
	Michelia champaca 'Alba'	Himalayan Champaca	M	Existing
	Tristania conferta	Brisbane Box	M	Existing
Legacy Park Street Tree (Per separate plan)				
	Quercus agrifolia	Coast Live Oak	L	Existing
	Pinus eldarica	Afghan Pine	L	Existing
Shrub				
SYMBOL	BOTANICAL NAME	COMMON NAME		
ACCENT SHRUBS				
	Rosa f. 'Trumpeter'	Trumpeter Rose		
	Dietes grandiflora	Fortnight Lily		
	Podocarpus macrophyllus 'Maki'	Shrubby Yew Pine		
MEDIUM SHRUBS - GENERAL PALETTE				
	Buddleja davidii	Butterfly Bush		
	Callistemon viminalis 'LittleJohn'	Dwarf Bottlebrush		
	Chondropetalum tectorum	Cape Rush		
	Pennisetum 'Fairy Tails'	Evergreen Fountain Grass		
	Westringia fruticosa Mundi	Mundi Coast Rosemary		
MEDIUM BACKDROP SHRUBS				
	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree		
	Elaeagnus pungens	Silverthorn		
	Rhaphiolepis indica 'Clara'	Indian Hawthorn		
	Strelitzia reginae	Bird-of-Paradise		
LOW ACCENT SHRUBS				
	Agave 'Blue Flame'	Blue Flame Agave		
	Buxus microphylla japonica	Japanese Boxwood		
	Dianella tasmanica 'Silver Streak'	Silver Streak Flax Lily		
	Dianella revoluta 'DR5000'	Little Rev Flax Lily		
	Salvia greggii	Red Salvia		
LOW SHRUBS/GROUNDCOVER - GENERAL PALETTE				
	Senecio mandraliscae	Blue Chalk Sticks		
	Festuca ovina "Glaucia"	Blue Fescue		
	Myoporum parvifolium 'Pink'	Prostrate Myoporum		
	Rosa x 'Noare'	Flower Carpet Rose		
	Sisyrinchium bellum	Blue-eyed Grass		
PARKWAY PLANTING				
	Myoporum parvifolium 'Pink'	Prostratum Myoporum		
	Rosa x 'Noare'	Flower Carpet Rose		
*The parkway is to be planted in a combination of two plant types. These are to be planted so as 75% is to be one species and 25% is to be the other (75% Myoporum, 25% Rosa)				
VINES & ESPALIERS				
	Clematis armandii	Evergreen Clematis		
	Gelsemium sempervirens	Carolina Jessamine		
	Pandorea jasminoides	Bower Vine		
	Trachelospermum jasminoides	Star Jasmine		
	Wisteria floribunda	Japanese Wisteria		
VINE NOTE:				
Vines shall be planted on walls adjacent to open space, walk throughs and alleyways.				

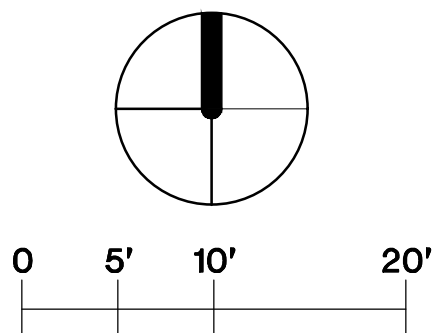
TYPICAL PLANTING PLAN

BLOCK 8 AT THE PRESERVE - 3-STORY PRODUCT

Chino Preserve Development Corp.

1156 North Mountain Avenue
P. O. Box 670
Upland, California 91785

909.946.7523



SITE SCAPES
Landscape Architecture & Planning
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Costa Mesa, CA 92626
Richard Pathman, License # 2792
(949) 644-9370 FAX (714) 210-3140

JOB# 24-014 DATE: 06-09-2025

L6



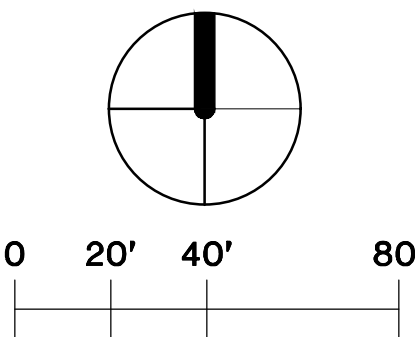
LEGEND

- PATH OF TRAVEL - MIN. 5' WIDE
- SHOWS PATH OF TRAVEL CONNECTION TO ADJOINING PROJECT
- PROPOSED DIRECTIONAL RAMP - INTERIOR
- PROPOSED DIRECTIONAL RAMP - PERIMETER
- PROPOSED DIRECTIONAL RAMP - INTERIOR
- EXISTING DIRECTIONAL RAMP (ALREADY CONSTRUCTED)
- CROSSWALK - SIGNALIZED
- CROSSWALK - MARKED/UNMARKED

PEDESTRIAN PLAN BLOCK 8 AT THE PRESERVE - 3-STORY PRODUCT

Chino Preserve Development Corp.

1156 North Mountain Avenue
P. O. Box 670
Upland, California 91785
909.946.7523



S I T E S C A P E S
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pathman, License # 2782
(949) 644-9370 FAX (714) 210-3140

JOB# 24-014 DATE: 06-09-2025

L7

Typ. Plan Matrix

- Window Wall
- Garage - Man Door
- Enhanced Elevations



0 10 20 40

- Alley End Accent Feature
- Primary Corner
- Secondary Corner
- Enhanced Elevation



Project Summary

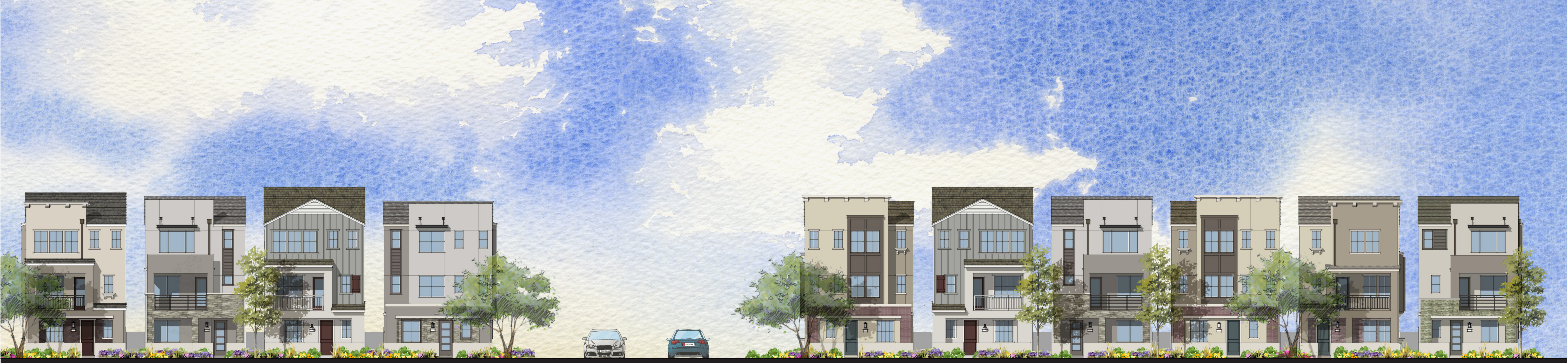
Total Units:	93 Homes	
	(19) Plan 1: 2,000 SF, 4 Bed, 3.0 Bath	20%
	(08) Plan 1X: 2,000 SF, 4 Bed, 3.0 Bath	09%
	(27) Plan 2: 2,187 SF, 4 Bed, 3.0 Bath, Opt. Flex	29%
	(06) Plan 2X: 2,187 SF, 4 Bed, 3.0 Bath, Opt. Flex	06%
	(26) Plan 3: 2,211 SF, 4 Bed, 3.0 Bath, Tech, Flex	28%
	(07) Plan 3X: 2,211 SF, 4 Bed, 3.0 Bath, Tech, Flex	08%

Zoning Summary

Existing Zoning:	The Preserve Specific Plan
Land Use Designation:	Community Core 16
Max. Density:	20 Homes per Acre
Building Setbacks:	Front Yard: 0' Side Yard: 0' Side Yard: 0' Rear Yard: 0'
	<small>*Page 76 of The Preserve Specific Plan</small>
Max. Building Height:	45' Feet

Notes:

- Site plan is for conceptual purposes only.
- Site plan must be reviewed by planning, building, and fire departments for code compliance.
- Base information per civil engineer.
- Civil engineer to verify all setbacks and grading information.
- Building Footprints might change due to the final design elevation style.
- Open space area is subject to change due to the balcony design of the elevation.
- Building setbacks are measured from property lines to building foundation lines.



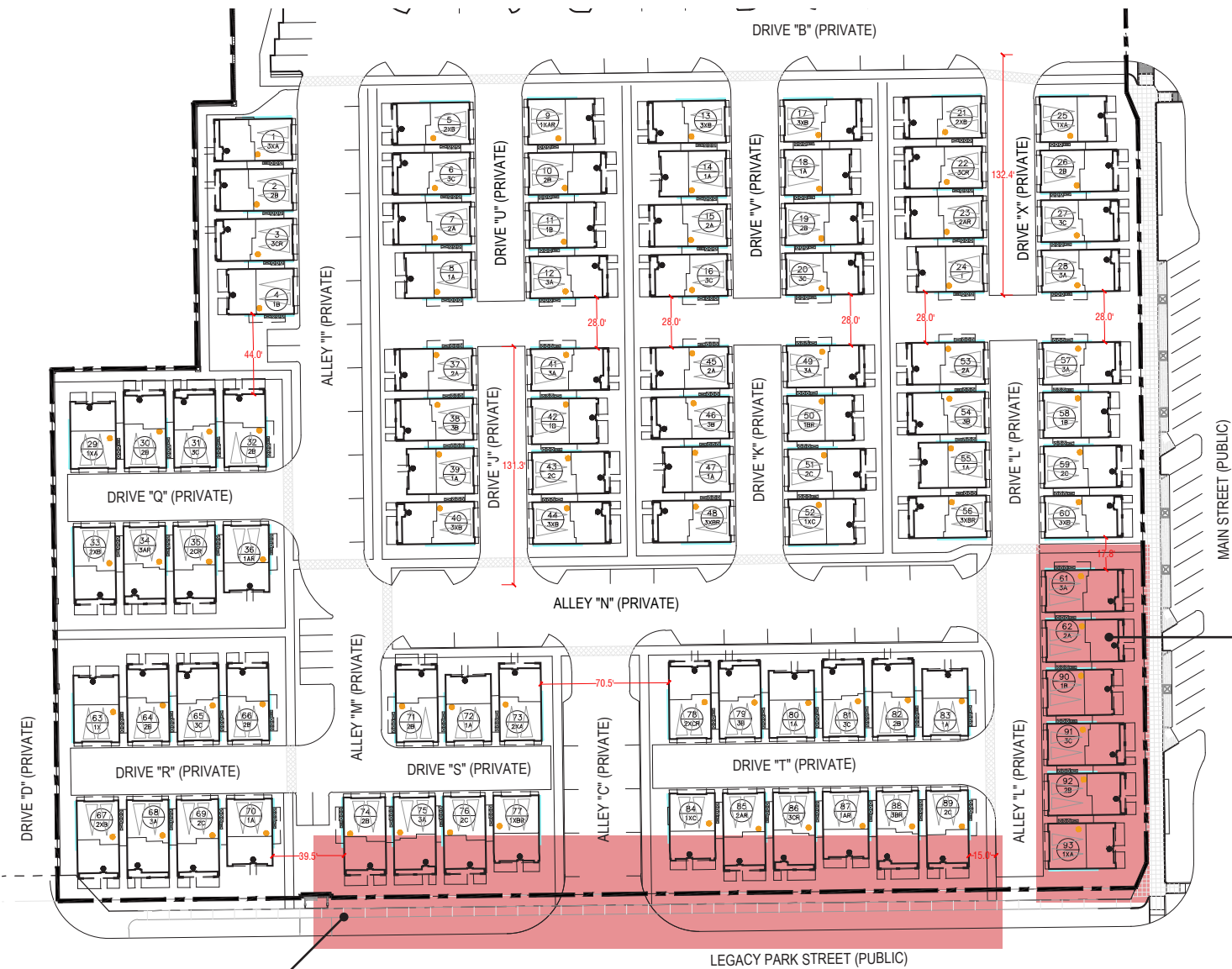
Plan 2 (Unit 74) Mainstreet Plan 3 (Unit 75) Industrial Plan 2 (Unit 76) Adaptive Farmhouse Plan 1 (Unit 77) Industrial Plan 1 (Unit 84) Mainstreet Plan 2 (Unit 85) Adaptive Farmhouse Plan 3 (Unit 86) Industrial Plan 1 (Unit 87) Mainstreet Plan 3 (Unit 88) Mainstreet Plan 2 (Unit 89) Industrial

Street Scene at Legacy Park Street



Plan 2 (Unit 93) Adaptive Farmhouse Plan 1 (Unit 92) Mainstreet Plan 3 (Unit 91) Mainstreet Plan 1 (Unit 90) Adaptive Farmhouse Plan 2 (Unit 62) Mainstreet Plan 3 (Unit 61) Industrial

Street Scene at Main Street

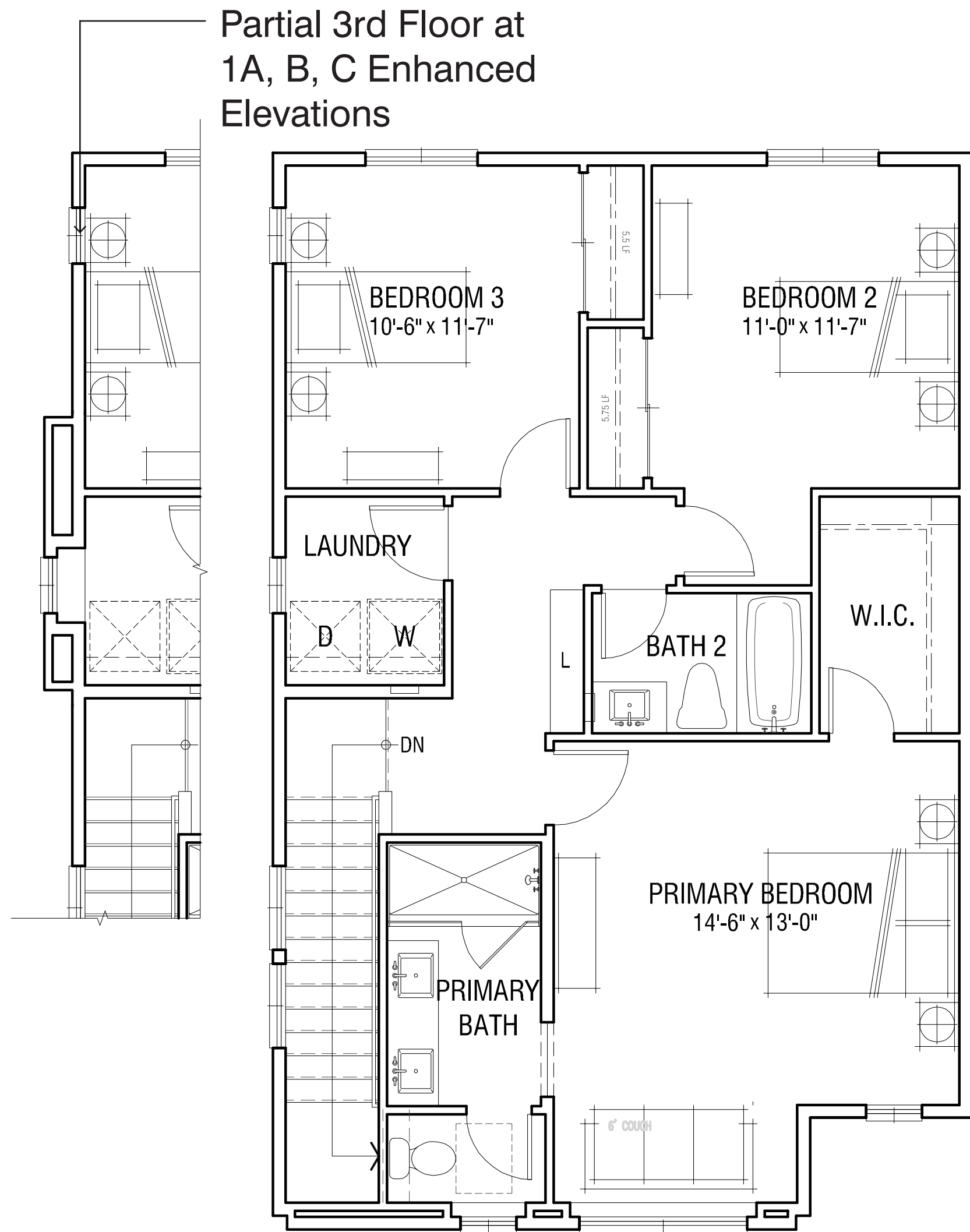


Legacy Park Street Street Scene Street Scene Key Map N.T.S.

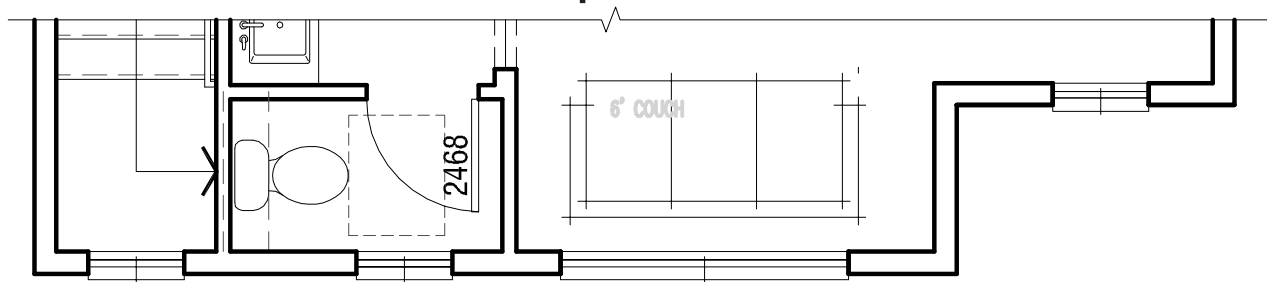
Conceptual Street Scenes

THE PRESERVE - BLOCK 8

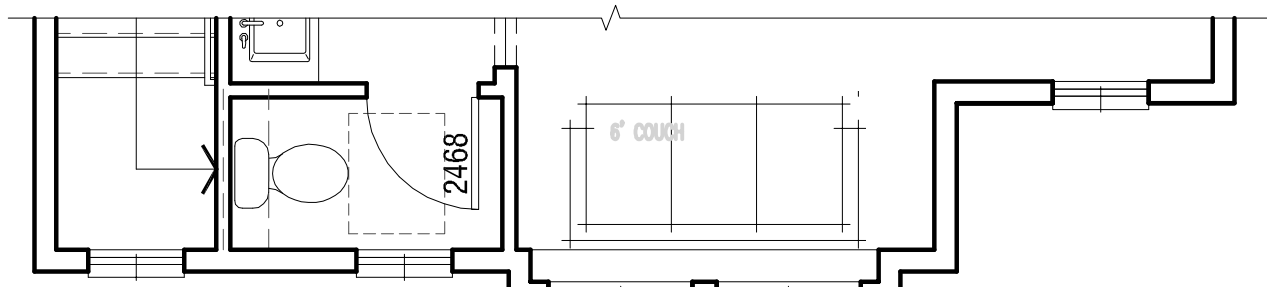
CHINO, CA



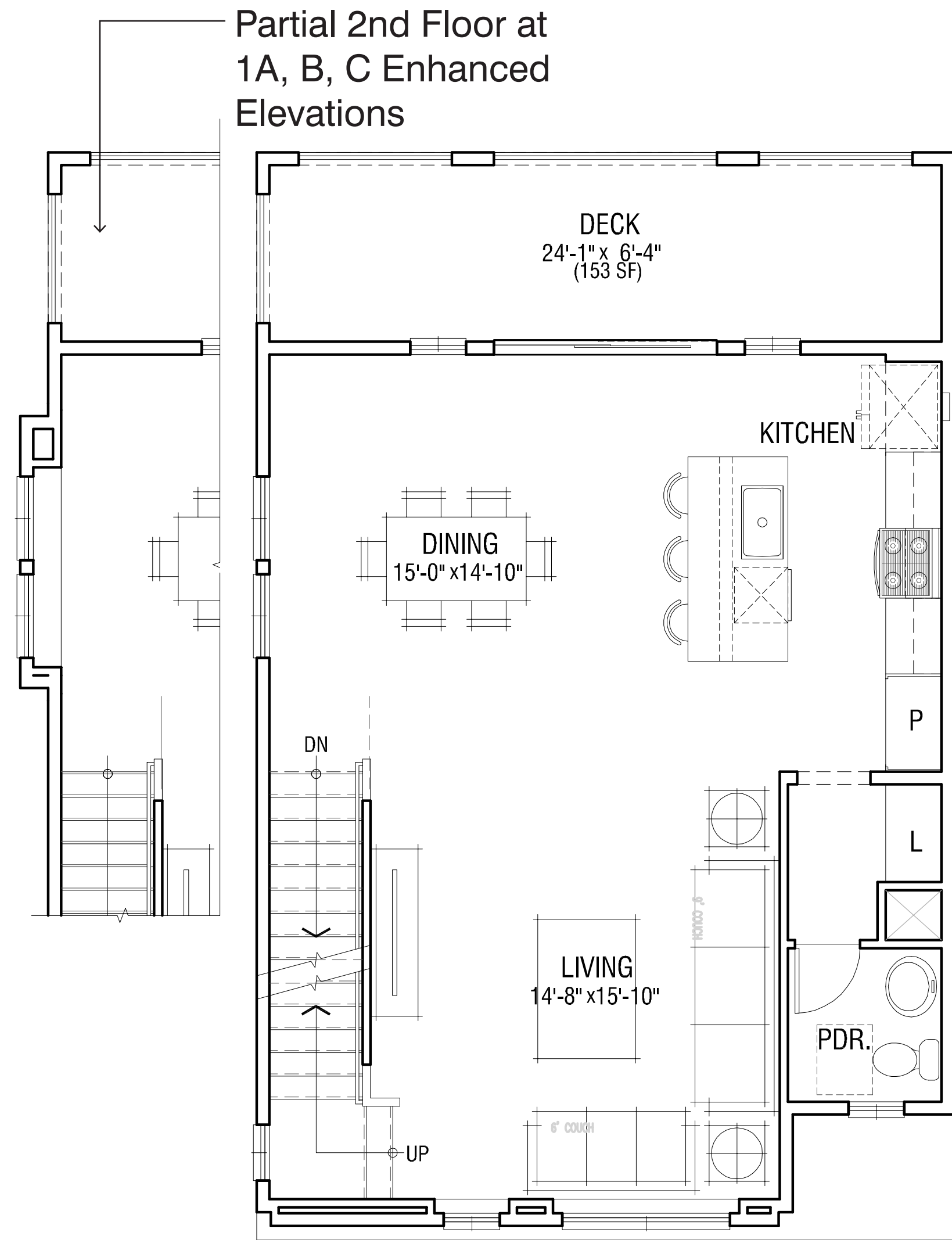
Third Floor
1A “Adaptive Farmhouse”



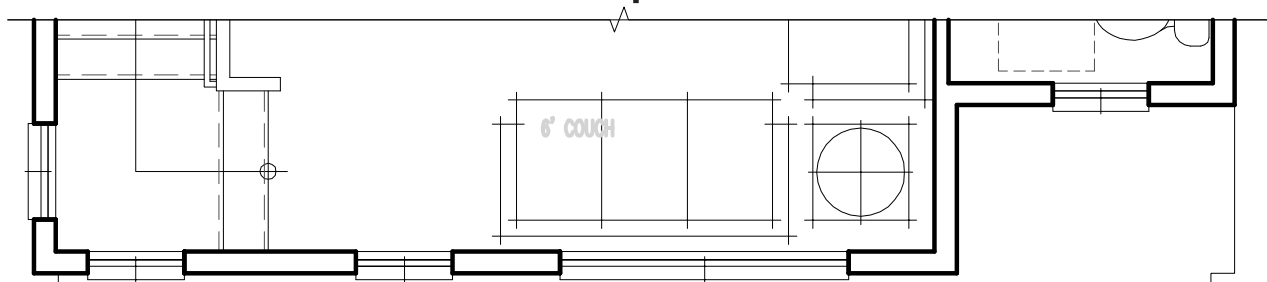
Partial 3rd Floor at 1B “Industrial”



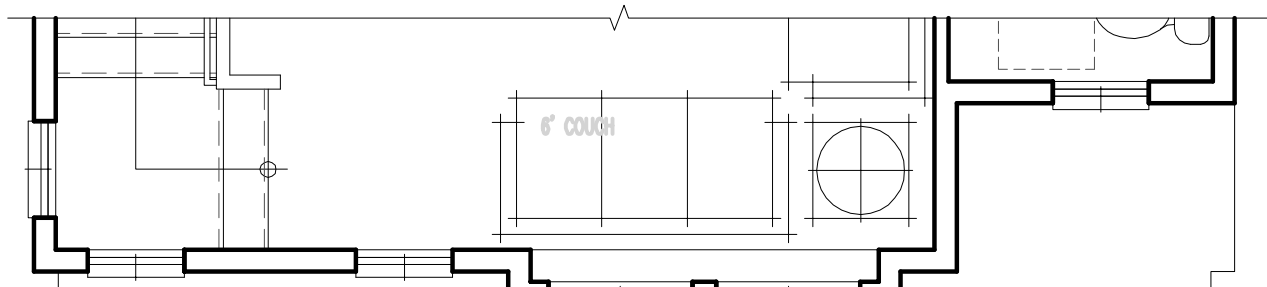
Partial 3rd Floor at 1C “Mainstreet”



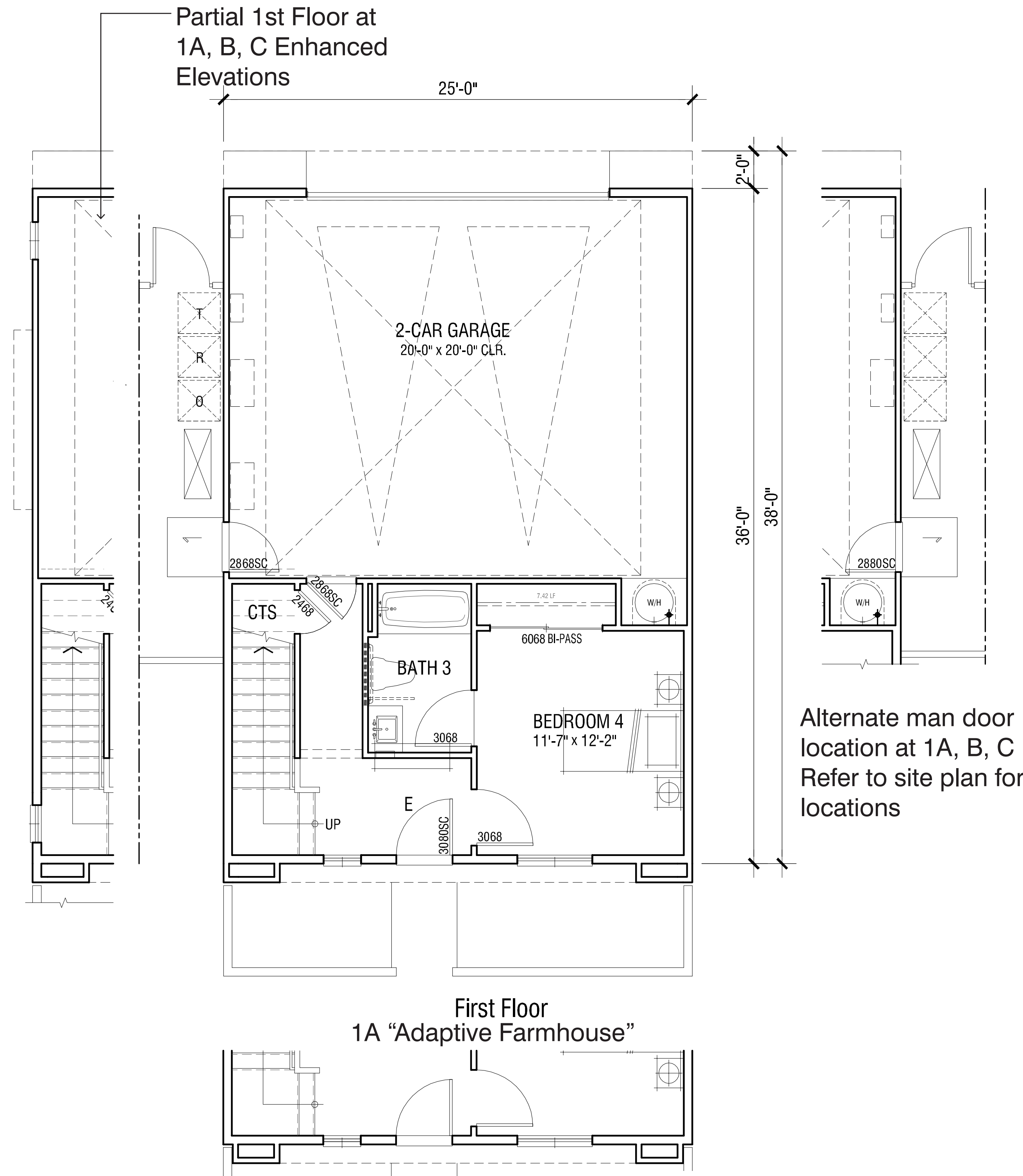
Second Floor
1A “Adaptive Farmhouse”



Partial 2nd Floor at 1B “Industrial”



Partial 2nd Floor at 1C “Mainstreet”



Alternate man door
location at 1A, B, C
Refer to site plan for
locations

First Floor
1A “Adaptive Farmhouse”

Partial 1st Floor at 1B “Industrial”
& 1C “Mainstreet”

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D

NOTE:
1. Floor plans are for conceptual purposes only
and will change through design process.
2. Further refinements to floor plans will be
needed to reflect exterior elevations.
3. Square footage may vary depending on
method of calculation.

4 Bdrm / 3 Bath / 2-Car Garage

PLAN 1 | Conceptual Floor Plan

THE PRESERVE - BLOCK 8

CHINO, CA

PLAN 1 AREA TABULATION	
CONDITIONED SPACE	
1st Floor Area	380 SQ. FT.
2nd Floor Area	760 SQ. FT.
3rd Floor Area	860 SQ. FT.
Total Dwelling	2000 SQ. FT.

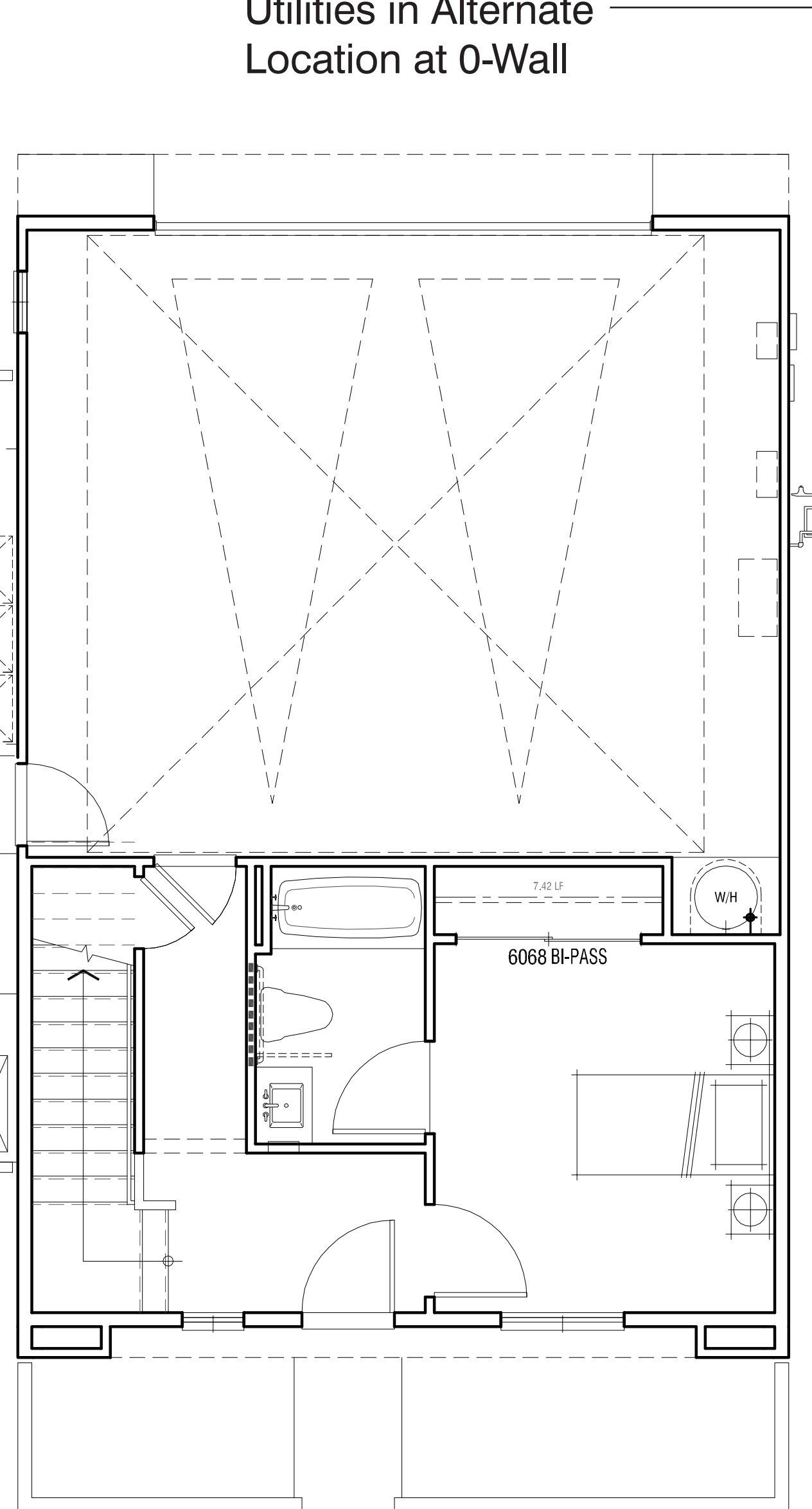
PLAN 1 PRIVATE OPEN SPACE TABULATION		
1st Floor Patio	N/A	N/A
2nd Floor Deck	24'-1" x 6'-4"	153 SQ. FT.
Total Private Open Space		153 SQ. FT.

See Sheet A-1 for
2nd and 3rd Floor
Plans

Utilities in Alternate
Location at 0-Wall

Man Door, Trash
Bins, and AC Con-
densor in Standard
Location.

6'-0" High Side Yard
Walls by Others.



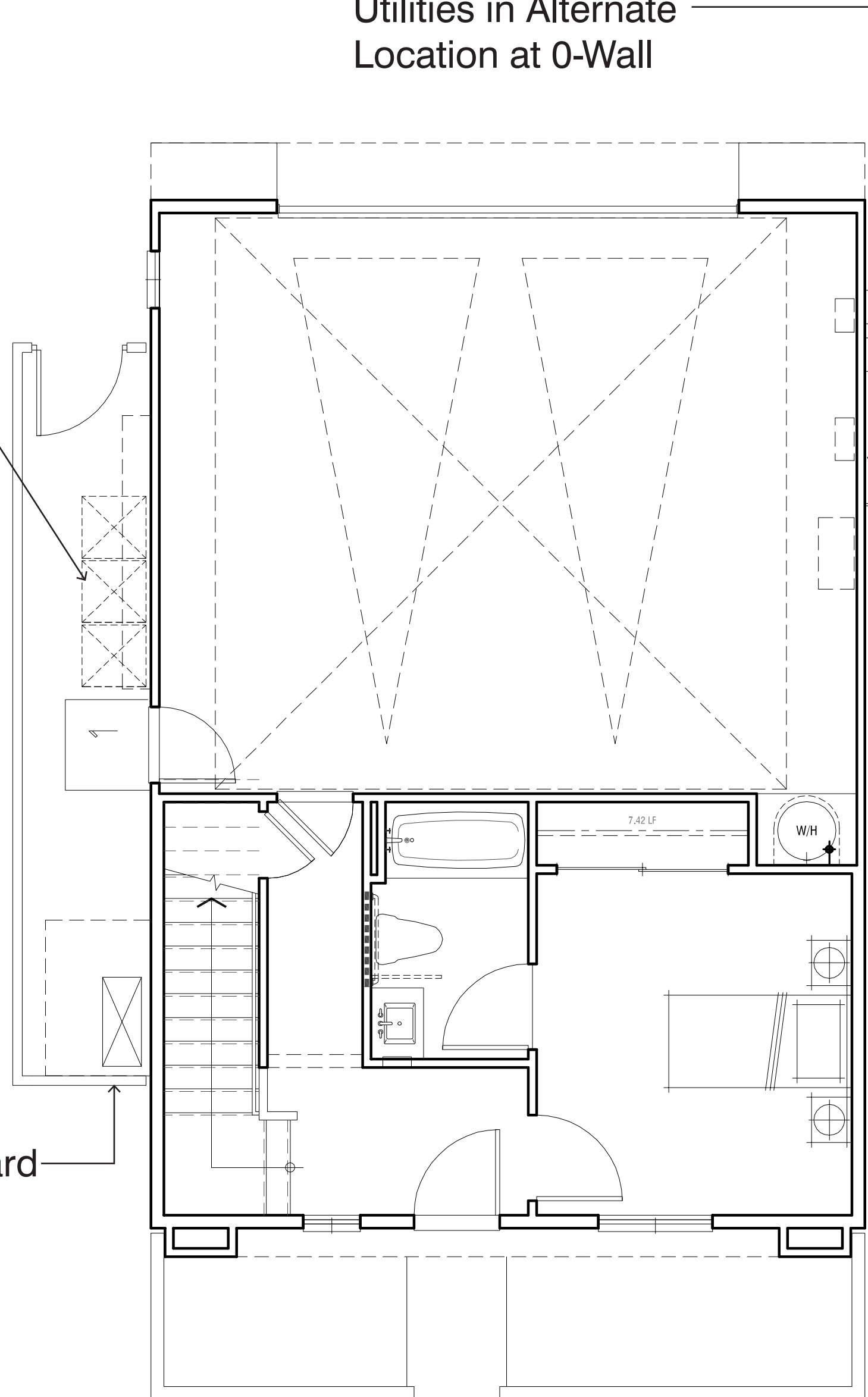
Plan 1YA: First Floor
Unit 70 (Adaptive Farmhouse)

See Sheet A-1 for
2nd and 3rd Floor
Plans

Utilities in Alternate
Location at 0-Wall

Man Door, Trash
Bins, and AC Con-
densor in Standard
Location.

6'-0" High Side Yard
Walls by Others.



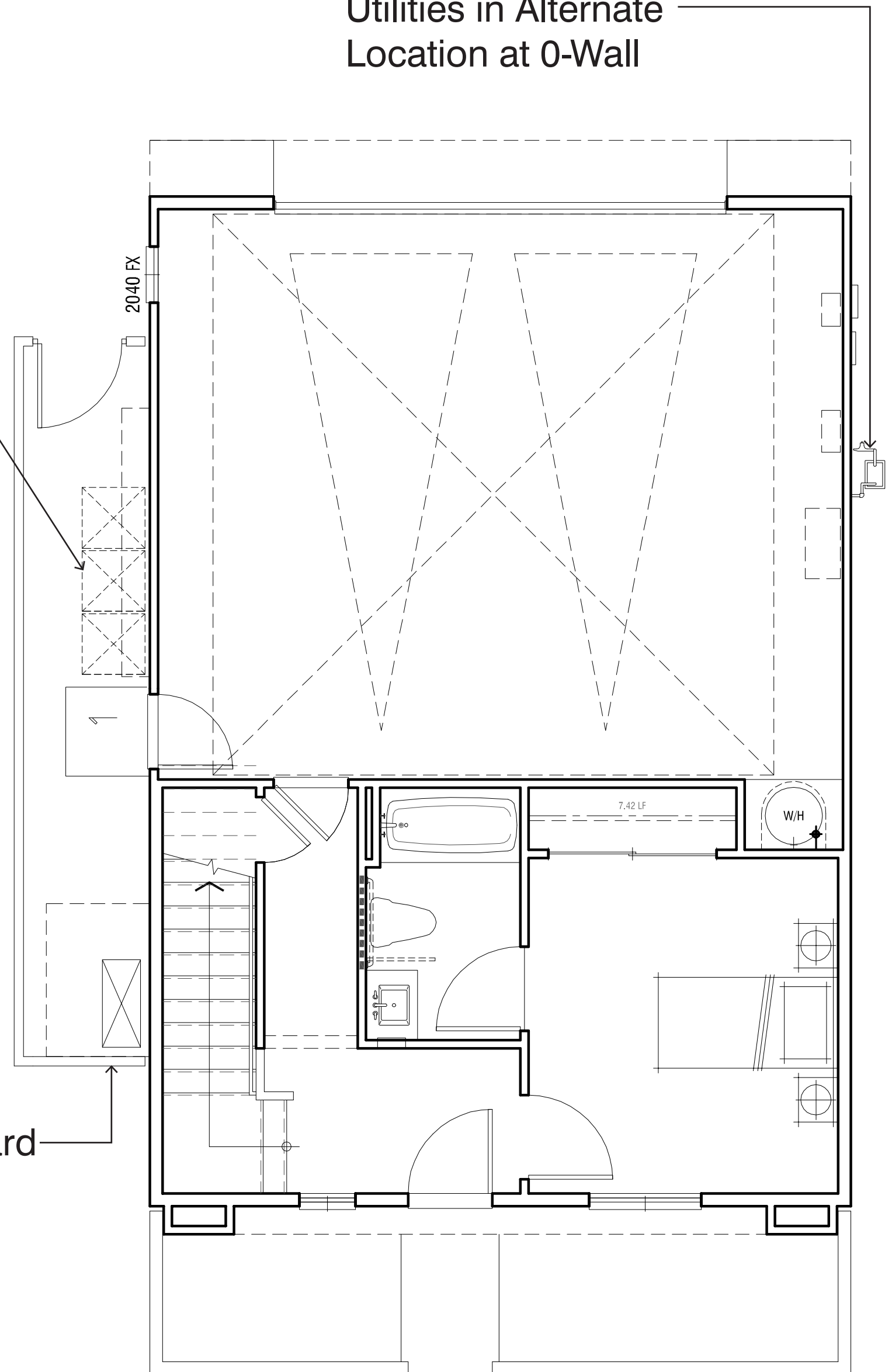
Plan 1YB: First Floor
Unit 4, 36 (Industrial)

See Sheet A-1 for
2nd and 3rd Floor
Plans

Utilities in Alternate
Location at 0-Wall

Man Door, Trash
Bins, and AC Con-
densor in Standard
Location.

6'-0" High Side Yard
Walls by Others.



Plan 1YC: First Floor
Unit 83 (Mainstreet)

Alternate Enhanced Conditions

PLAN 1 | Conceptual Floor Plan

THE PRESERVE - BLOCK 8

CHINO, CA



ROOF

Rake: 0'-0"
Eave: 0'-0"



RIGHT



REAR



LEFT



FRONT

Note: Artist's conception; colors, materials and application may vary.

BUILDING MATERIAL: ADAPTIVE FARMHOUSE

Roof:	Flat Roof with Parapet; Concrete Flat Tile
Exterior:	Stucco Finish
Accent Windows:	Stucco over Foam Trim with Accent Color
Deck Accents:	Decorative Metal Railing
Window & Door Trim:	Vinyl
Accent:	Horizontal Lap Siding, Board and Batten
Entry Door:	Decorative Front Entry Door
Garage Door:	Sectional Garage Doors

Color Scheme 1 Shown, Refer to Sheet CM-1

Adaptive Farmhouse Style
PLAN 1A | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA



A-3
0 2 4 8

PLANNING SUBMITTAL 4

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Standard Enhanced Elevation
with Alley End Accents: Unit 9



Standard Enhanced Elevation
with Alley End Accents: Unit 70



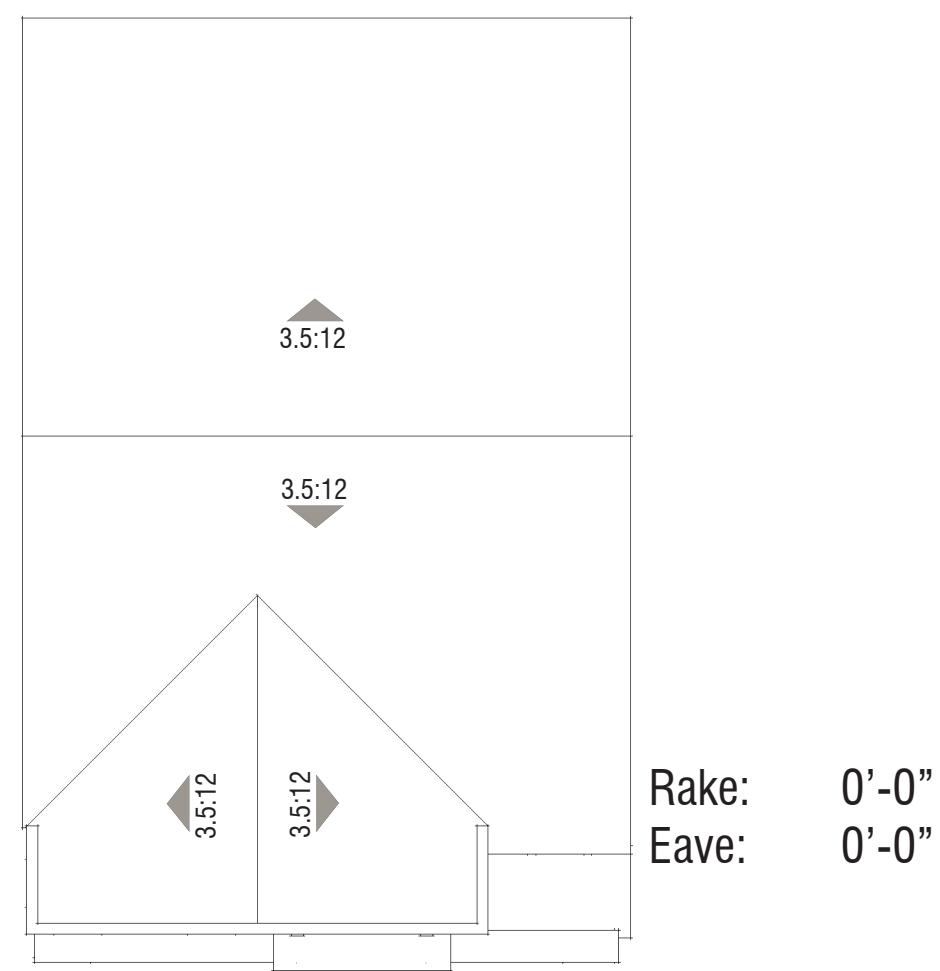
Color Scheme 1 Shown, Refer to Sheet CM-1

Adaptive Farmhouse Style

PLAN 1A | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA



ROOF



RIGHT



REAR



LEFT



FRONT

BUILDING MATERIAL: INDUSTRIAL

Roof:	Flat Roof with Parapet; Concrete Flat Tile
Exterior:	Stucco Finish
Accent Windows:	Stucco over Foam Trim with Accent Color
Deck Accents:	Decorative Metal Railing
Window & Door Trim:	Vinyl
Awning:	Metal Awning
Accent:	Horizontal Inset Lap Siding, Stone Veneer
Entry Door:	Decorative Front Entry Door
Garage Door:	Sectional Garage Doors

Color Scheme 3 Shown, Refer to Sheet CM-1

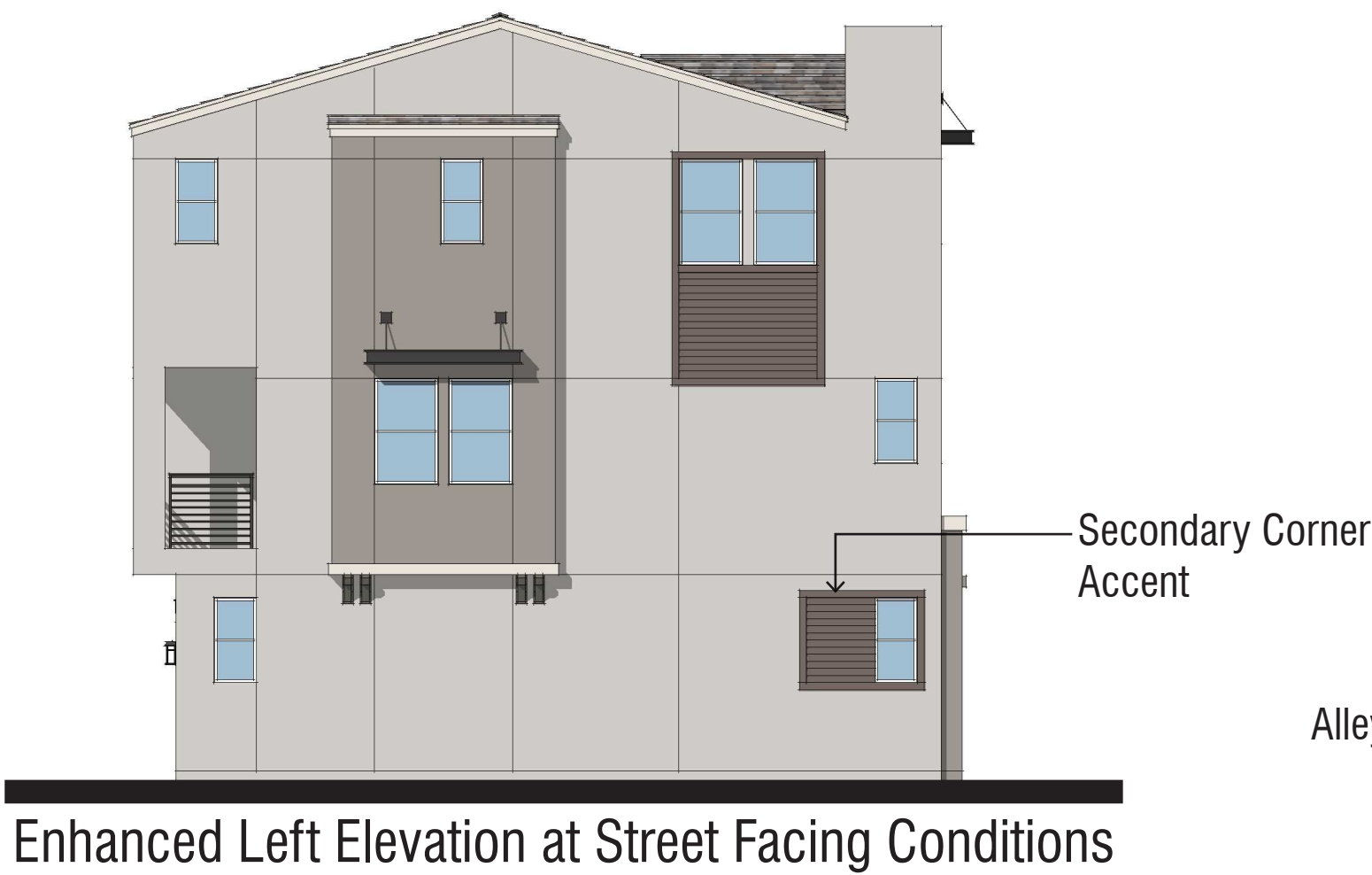
Industrial Style

PLAN 1B | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA

Standard Enhanced Elevation with Secondary
Corner Accents: Units 77



Standard Enhanced Elevation with Alley
End Accents: Units 36



Standard Enhanced Elevation: Units 4



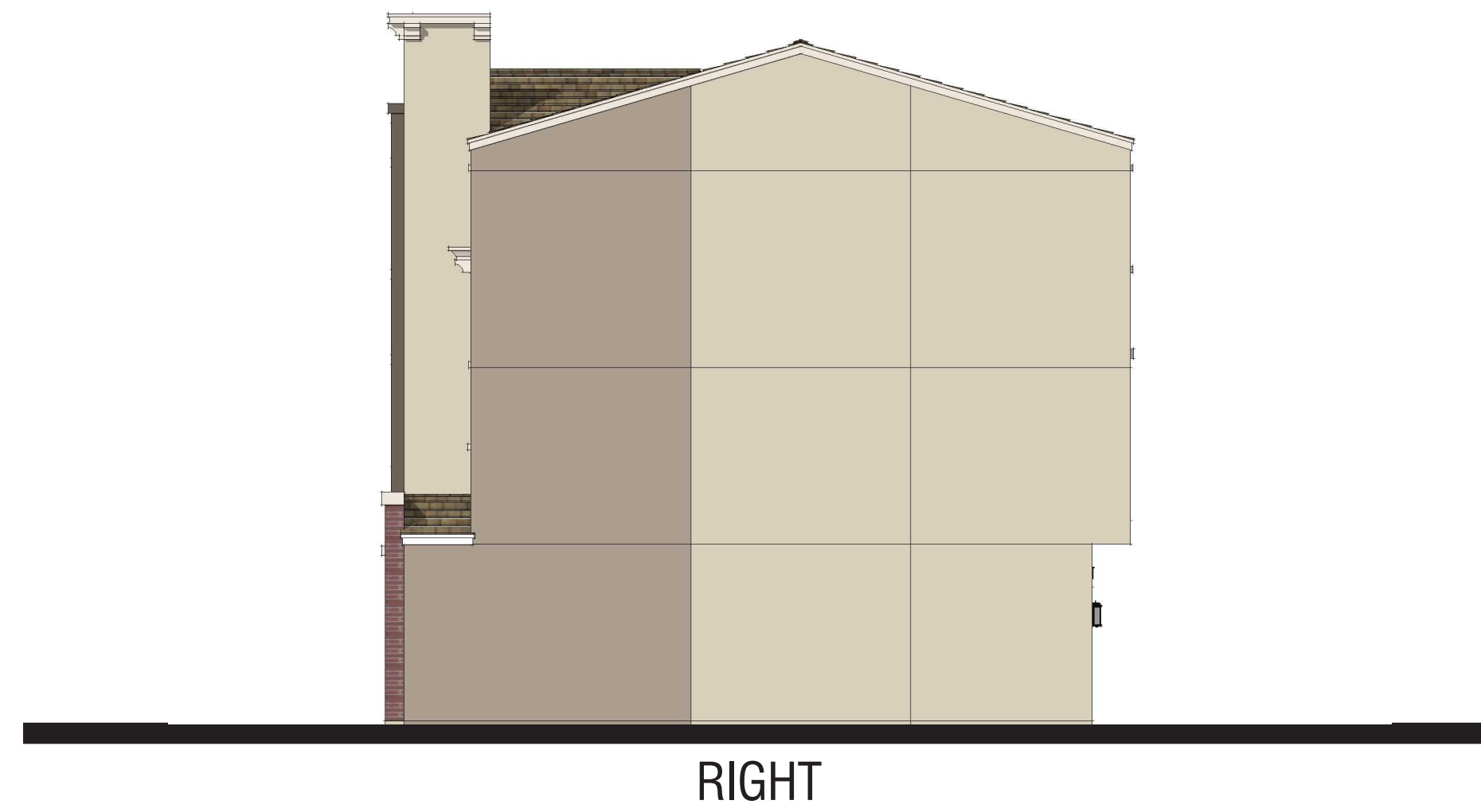
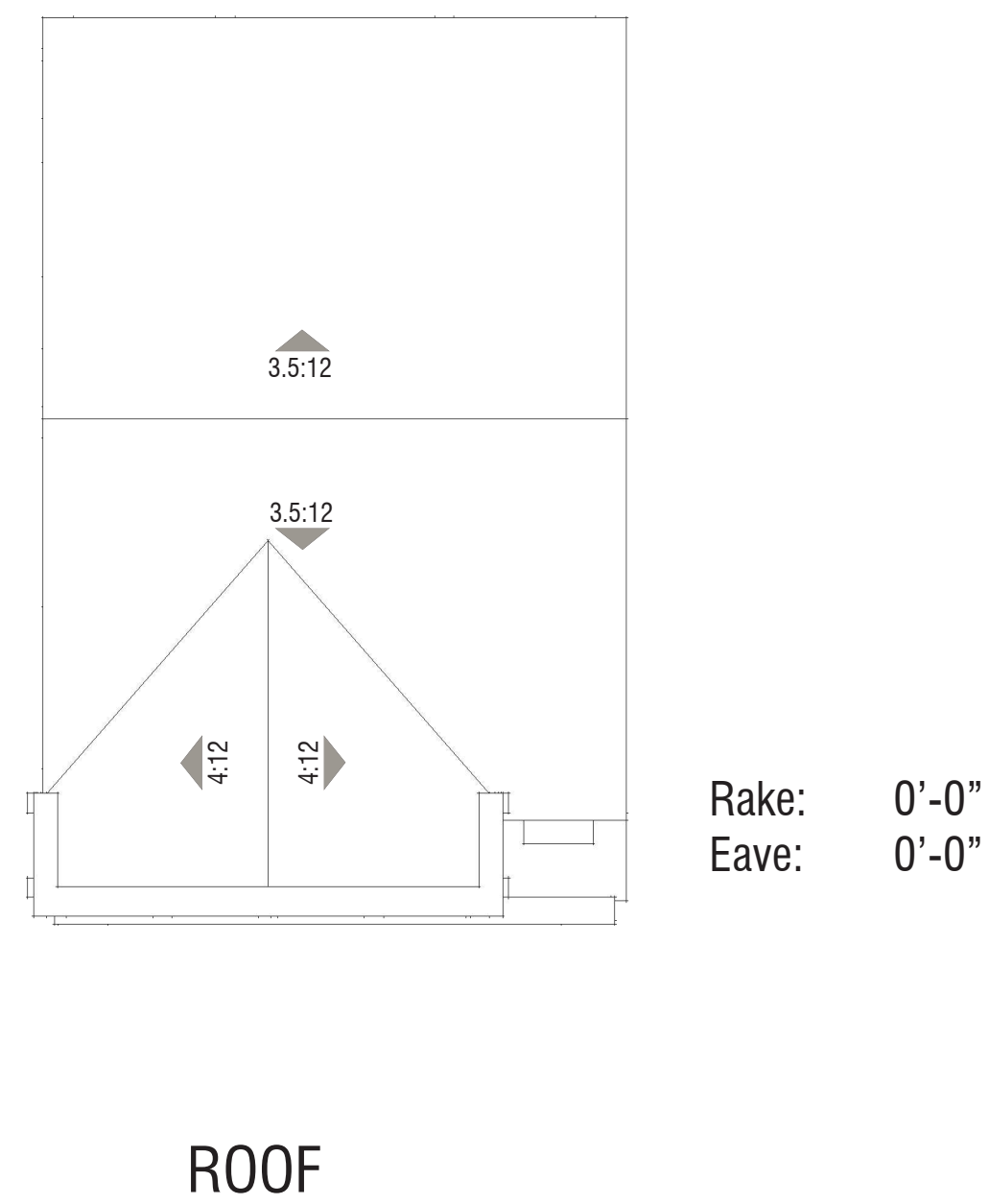
Color Scheme 3 Shown, Refer to Sheet CM-1

Industrial Style

PLAN 1B | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA



BUILDING MATERIAL: MAINSTREET

Roof:	Flat Roof with Parapet; Concrete Flat Tile
Exterior:	Stucco Finish
Accent Windows:	Stucco over Foam Trim with Accent Color
Deck Accents:	Decorative Metal Railing
Window & Door Trim:	Vinyl
Accent:	Fiber Cement Panel, Brick Veneer
Entry Door:	Decorative Front Entry Door
Garage Door:	Sectional Garage Doors

Color Scheme 5 Shown, Refer to Sheet CM-2

Mainstreet Style

PLAN 1C | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA

Standard Enhanced Elevation with
Secondary Corner Accents: Unit 84



Standard Enhanced Elevation with
Alley End Accents: Unit 52, 83



Standard Enhanced Elevation:
Units 29, 63



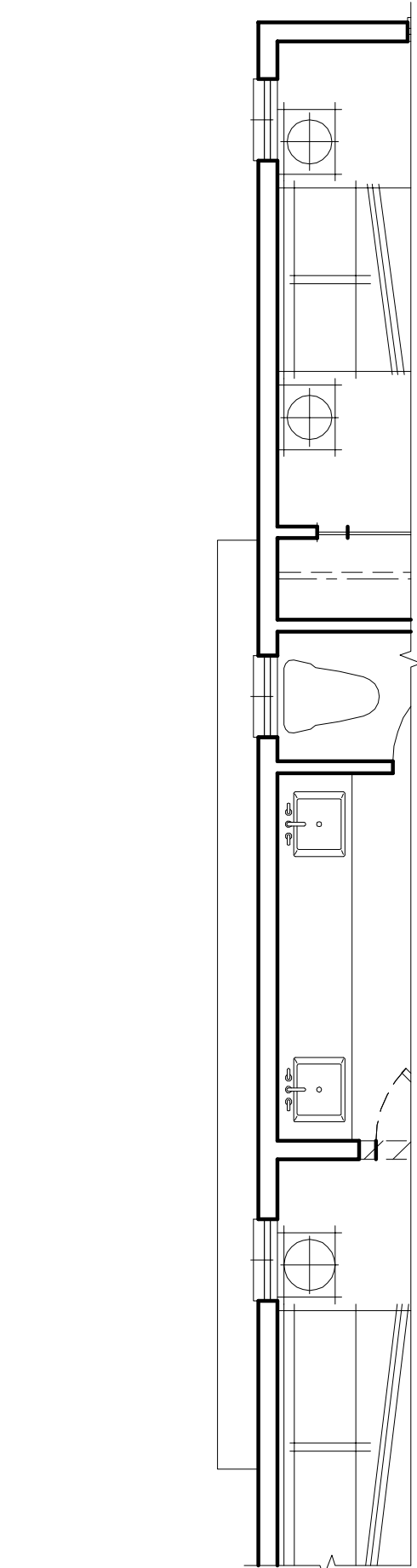
Color Scheme 5 Shown, Refer to Sheet CM-2

Mainstreet Style

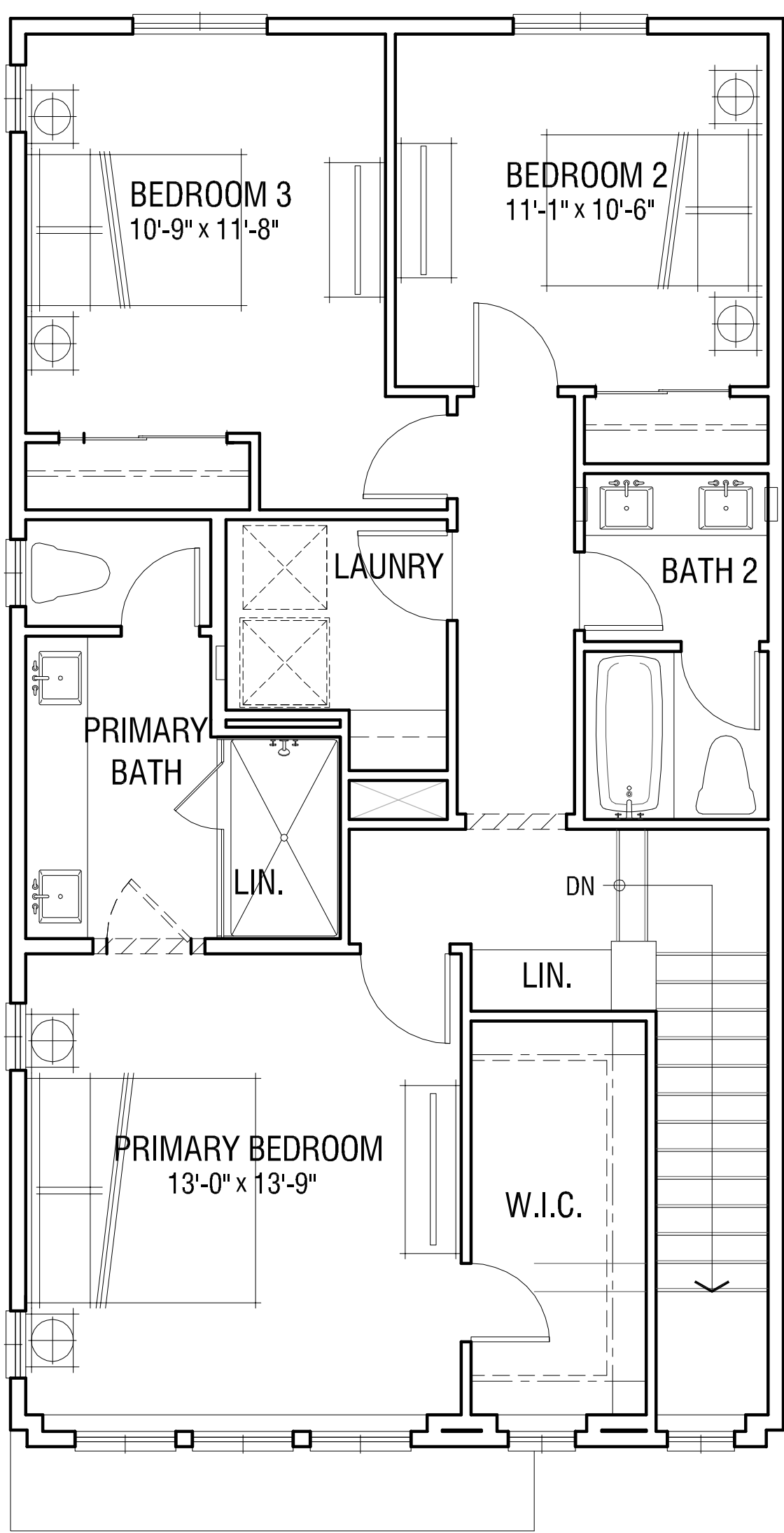
PLAN 1C | Conceptual Elevations

THE PRESERVE - BLOCK 8

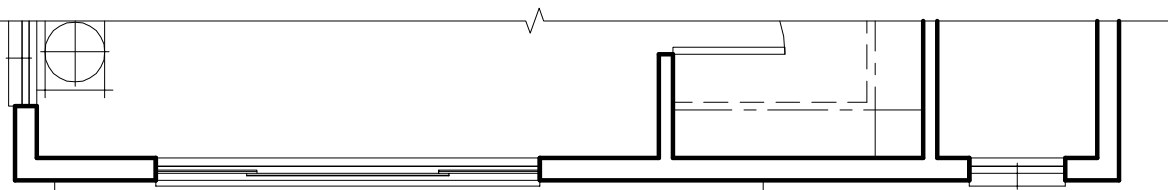
CHINO, CA



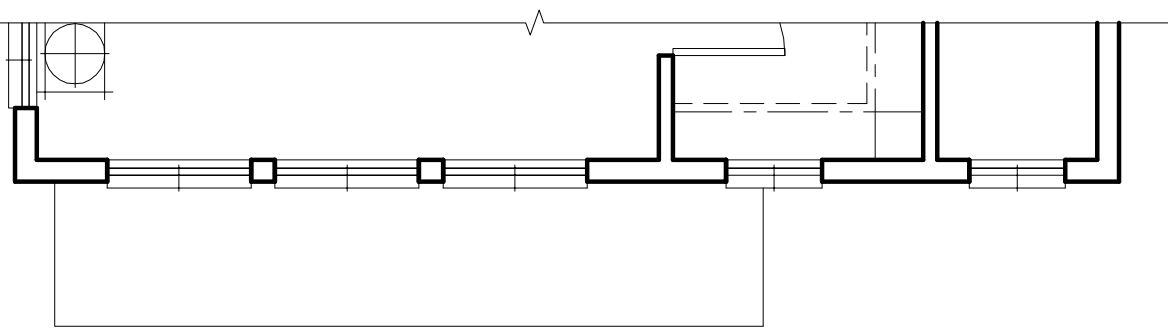
Partial 3rd Floor at
2A, B, C Enhanced
Elevations



Third Floor



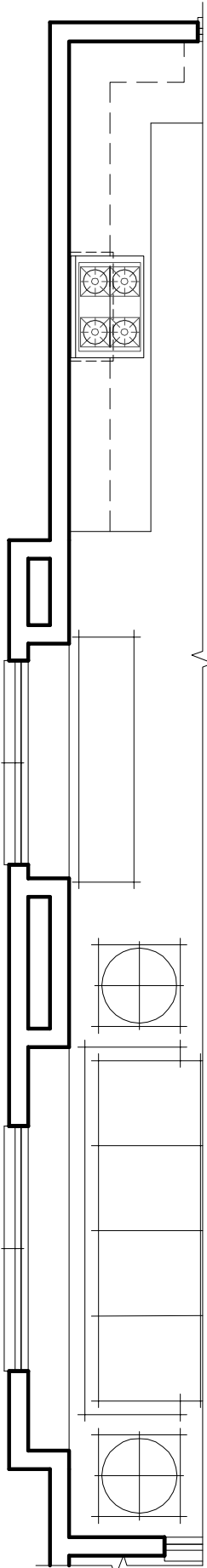
Partial 3rd Floor at 2B "Industrial"



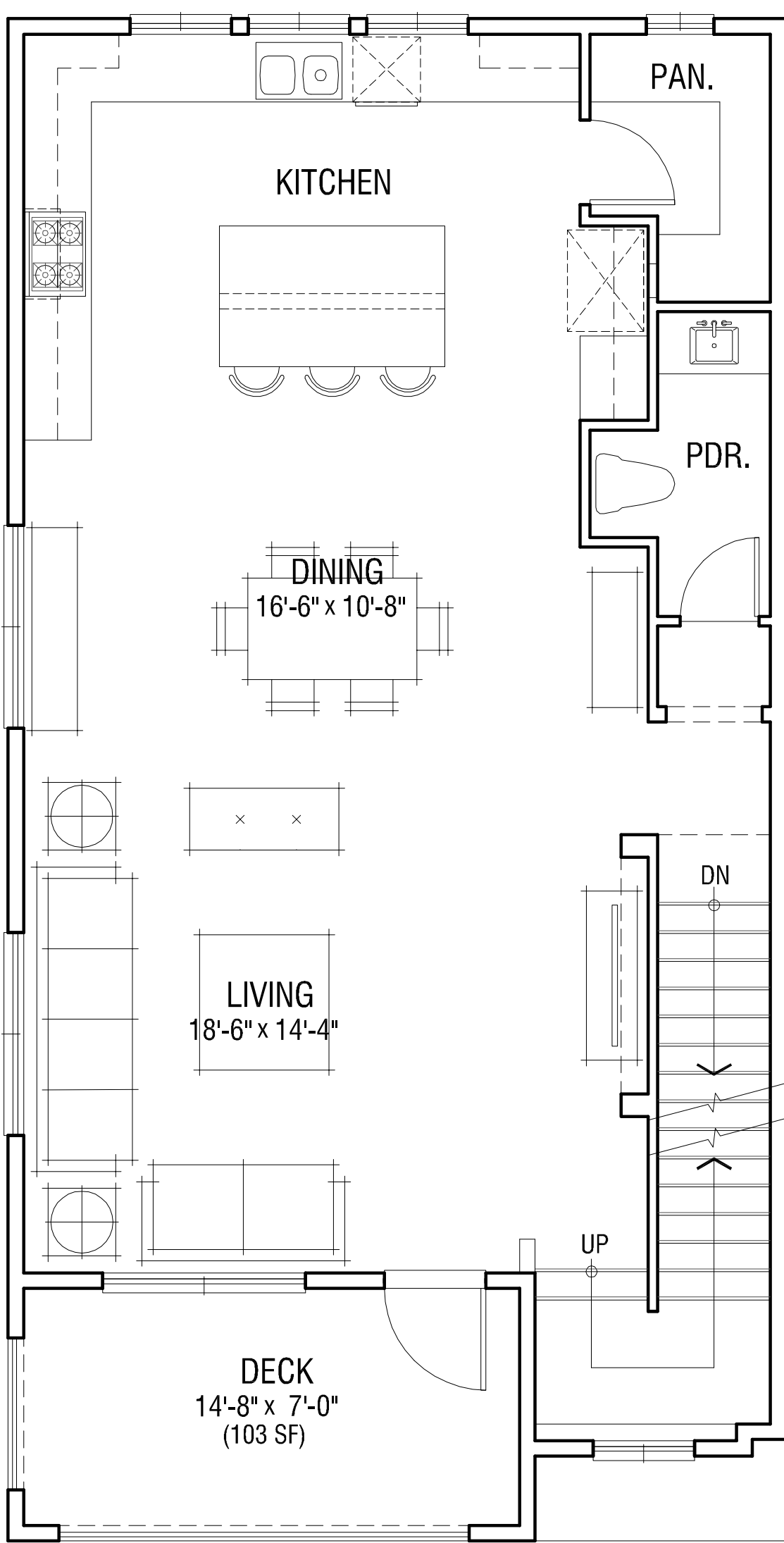
Partial 3rd Floor at 2C "Mainstreet"

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D

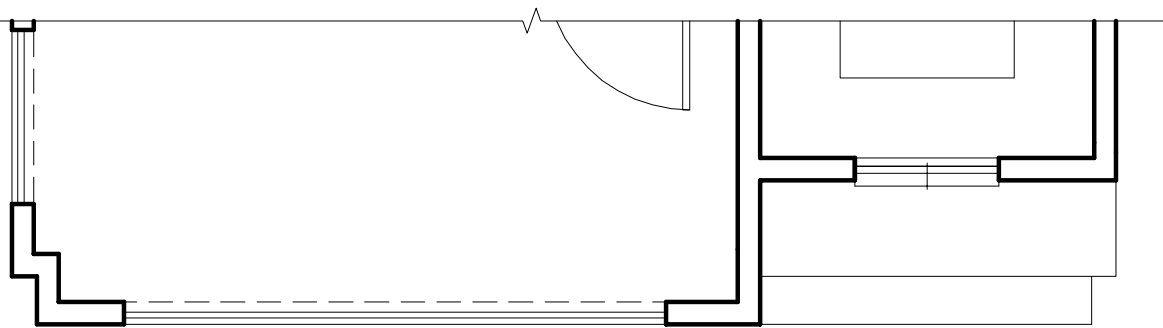
NOTE:
1. Floor plans are for conceptual purposes only
and will change through design process.
2. Further refinements to floor plans will be
needed to reflect exterior elevations.
3. Square footage may vary depending on
method of calculation.



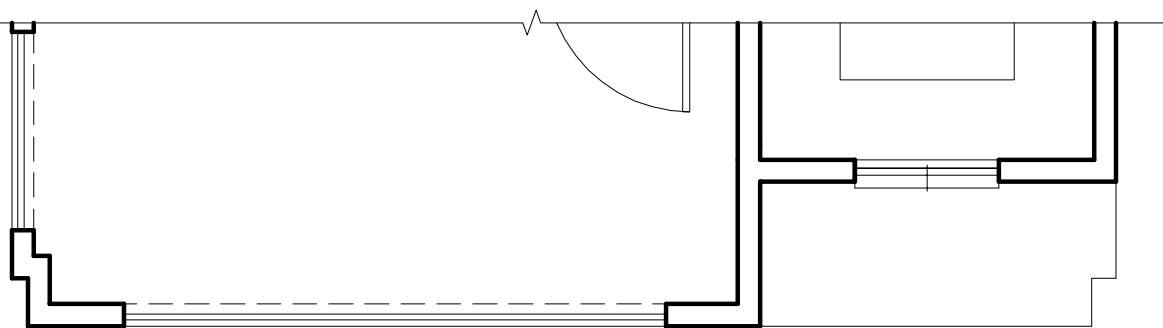
Partial 2nd Floor at
2A, B, C Enhanced
Elevations



Second Floor



Partial 2nd Floor at 2B "Industrial"



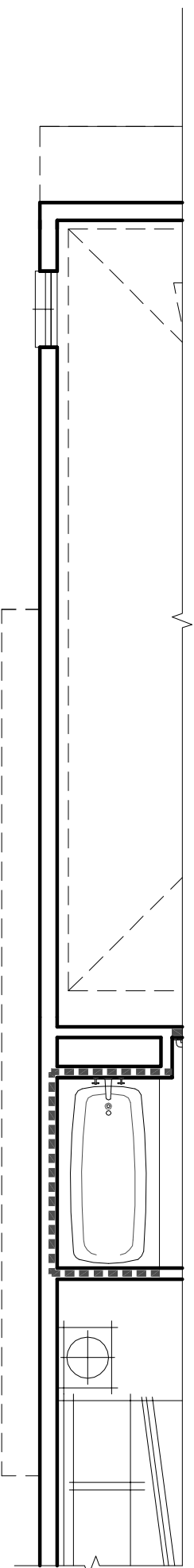
Partial 2nd Floor at 2C "Mainstreet"

4 Bdrm / 3 Bath / Opt. Flex / 2-Car Garage

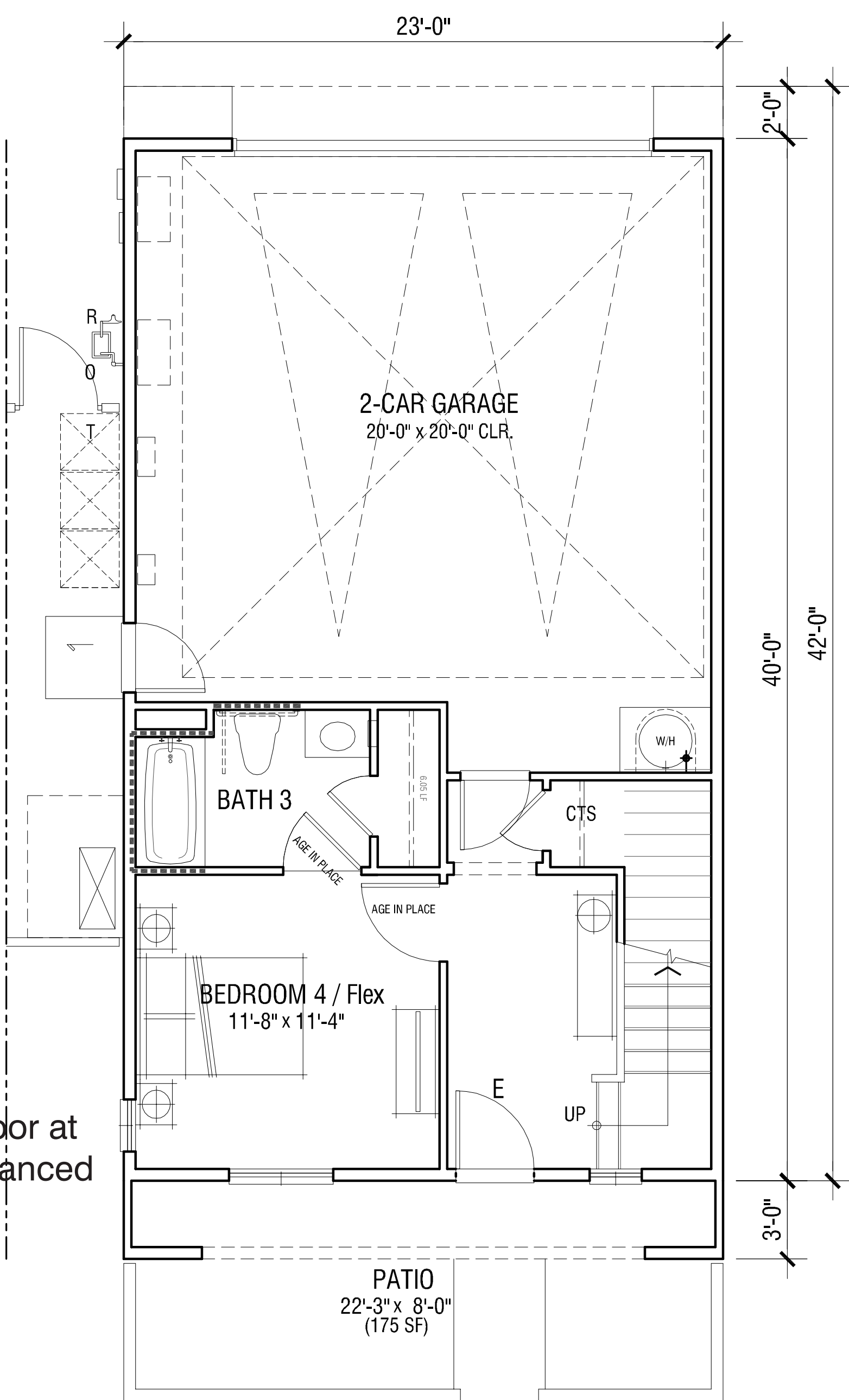
PLAN 2 | Conceptual Floor Plan

THE PRESERVE - BLOCK 8

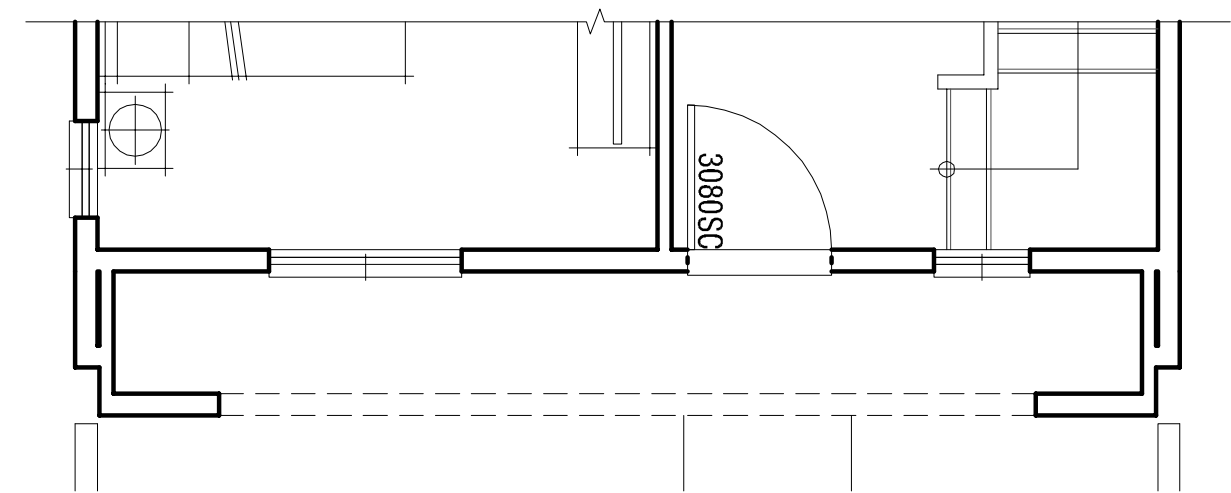
CHINO, CA



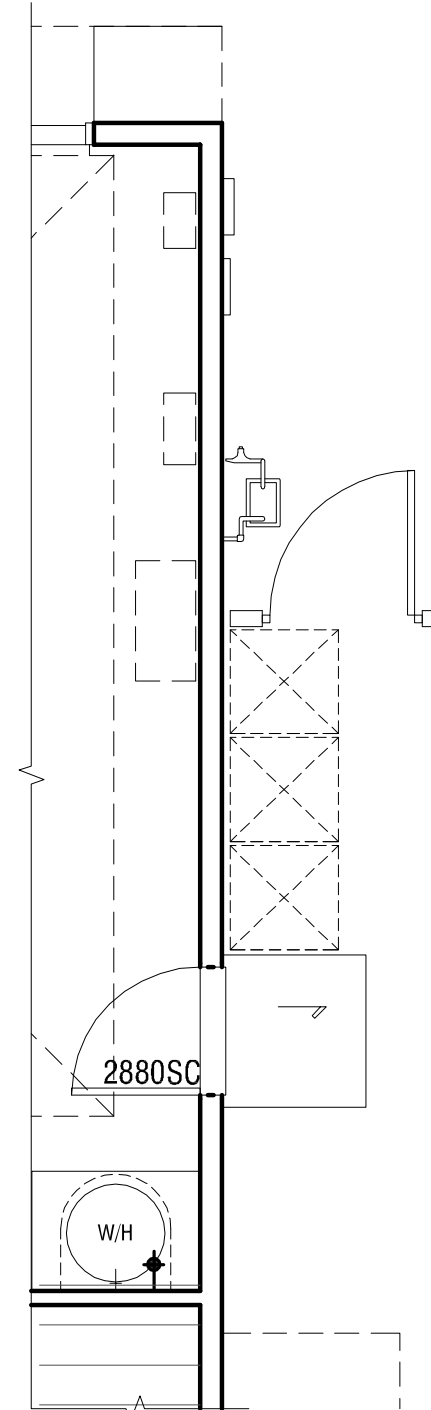
Partial 1st Floor at
2A, B, C Enhanced
Elevations



First Floor



Partial 1st Floor at 2B and 2C



Alternate man door
location at 2A, B, C
Refer to site plan for
locations

PLAN 2 AREA TABULATION	
CONDITIONED SPACE	
1st Floor Area	394 SQ. FT.
2nd Floor Area	899 SQ. FT.
3rd Floor Area	895 SQ. FT.
Total Dwelling	2187 SQ. FT.

PLAN 2 PRIVATE OPEN SPACE TABULATION		
1st Floor Patio	22'-3" x 8'-0"	175 SQ. FT.
2nd Floor Deck	14'-8" x 7'-0"	103 SQ. FT.
Total Private Open Space		278 SQ. FT.

A-9

PLANNING SUBMITTAL 4

See Sheet A-1 for
2nd and 3rd Floor
Plans

See Sheet A-1 for
2nd and 3rd Floor
Plans

See Sheet A-1 for
2nd and 3rd Floor
Plans

Utilities in Alternate
Location at 0-Wall

Utilities in Alternate
Location at 0-Wall

Utilities in Alternate
Location at 0-Wall

Man Door, Trash
Bins, and AC Con-
densor in Standard
Location.

Man Door, Trash
Bins, and AC Con-
densor in Standard
Location.

Man Door, Trash
Bins, and AC Con-
densor in Standard
Location.

6'-0" High Side Yard
Walls by Others.

6'-0" High Side Yard
Walls by Others.

6'-0" High Side Yard
Walls by Others.

Plan 2YA: First Floor
Unit 32 (Adaptive Farmhouse)

Plan 2YB: First Floor
Unit 71, 89 (Industrial)

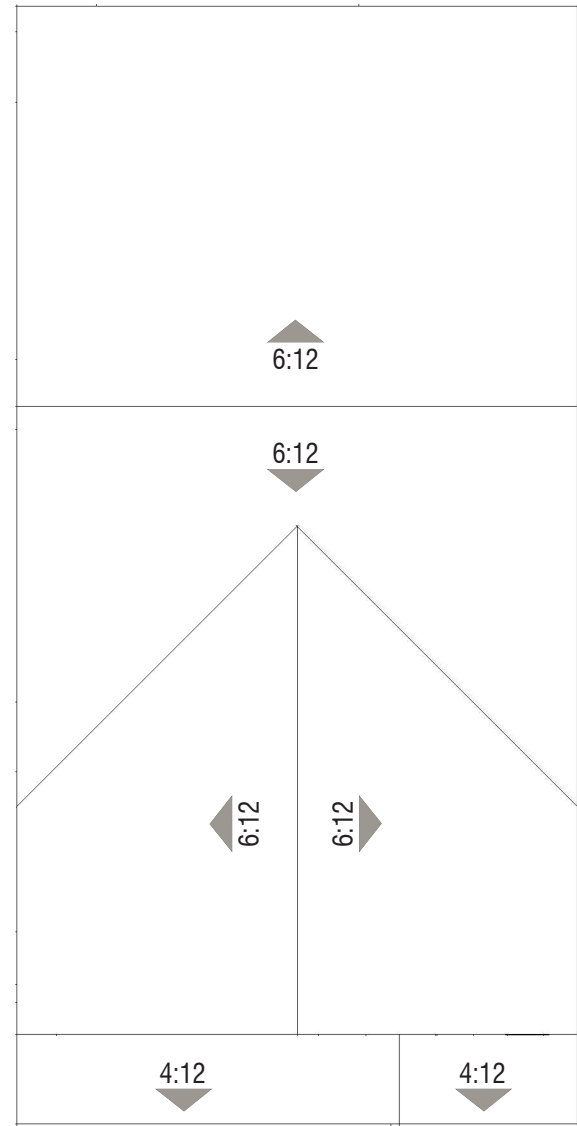
Plan 2YC: First Floor
Unit 66, 74 (Mainstreet)

Alternate Enhanced Conditions

PLAN 2 | Conceptual Floor Plan

THE PRESERVE - BLOCK 8

CHINO, CA



ROOF

Rake: 0'-0"
Eave: 0'-0"



RIGHT



REAR



LEFT



FRONT

BUILDING MATERIAL: ADAPTIVE FARMHOUSE

- | | |
|---------------------|--|
| Roof: | Flat Roof with Parapet; Concrete Flat Tile |
| Exterior: | Stucco Finish |
| Accent Windows: | Stucco over Foam Trim with Accent Color |
| Deck Accents: | Decorative Metal Railing |
| Window & Door Trim: | Vinyl |
| Accent: | Horizontal Lap Siding, Board and Batten |
| Entry Door: | Decorative Front Entry Door |
| Garage Door: | Sectional Garage Doors |

Color Scheme 2 Shown, Refer to Sheet CM-1

Adaptive Farmhouse Style

PLAN 2A | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA

Standard Enhanced with Alley
End Accents: Units 32



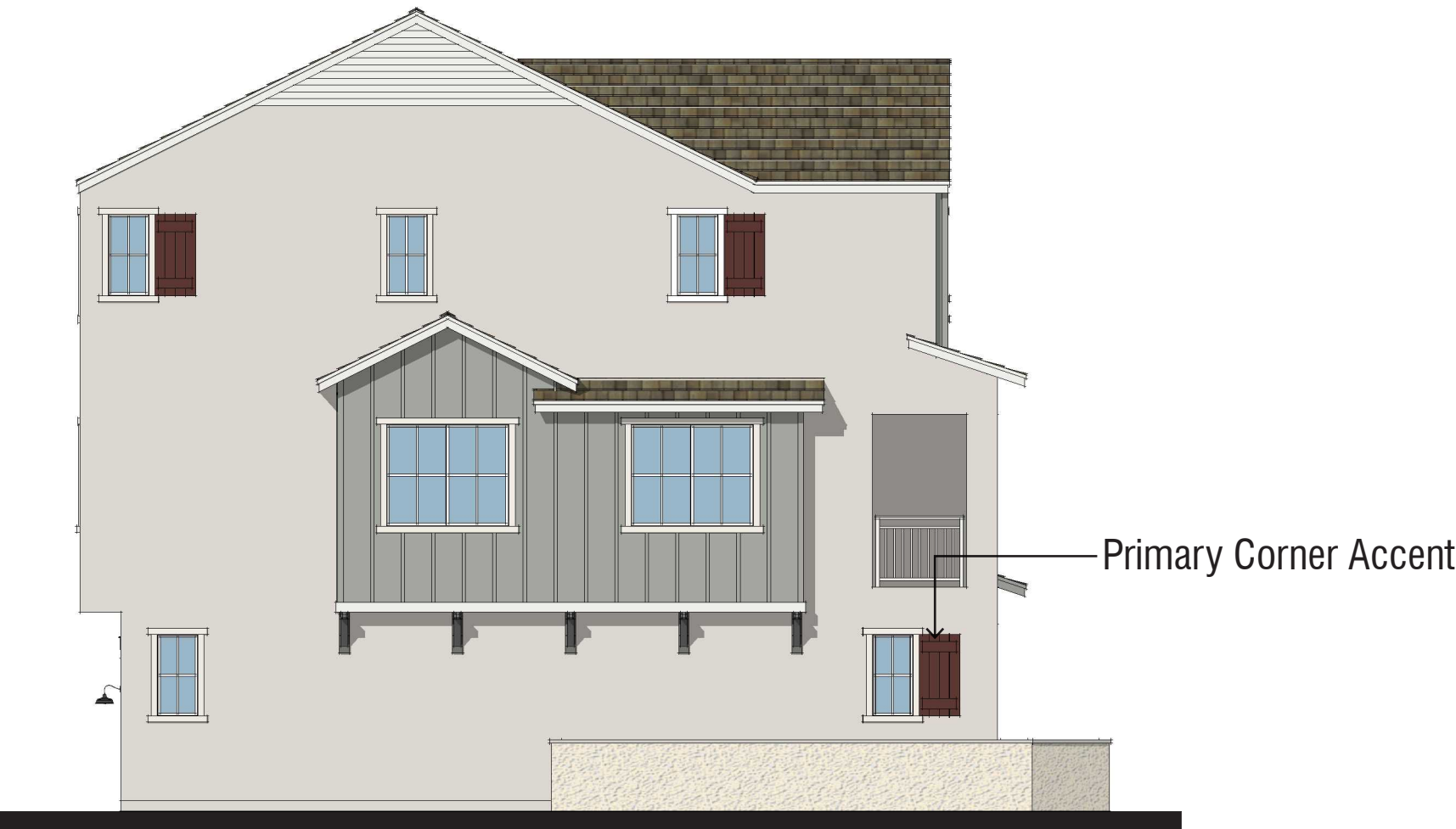
Enhanced Left Elevation at Street Facing Conditions

Standard Enhanced with Primary Corner
Accent, and Alley End Accents: Units
25, 93



Enhanced Left Elevation at Street Facing Conditions

Standard Enhanced with Secondary
Corner Accent: Unit 67



Enhanced Left Elevation at Street Facing Conditions

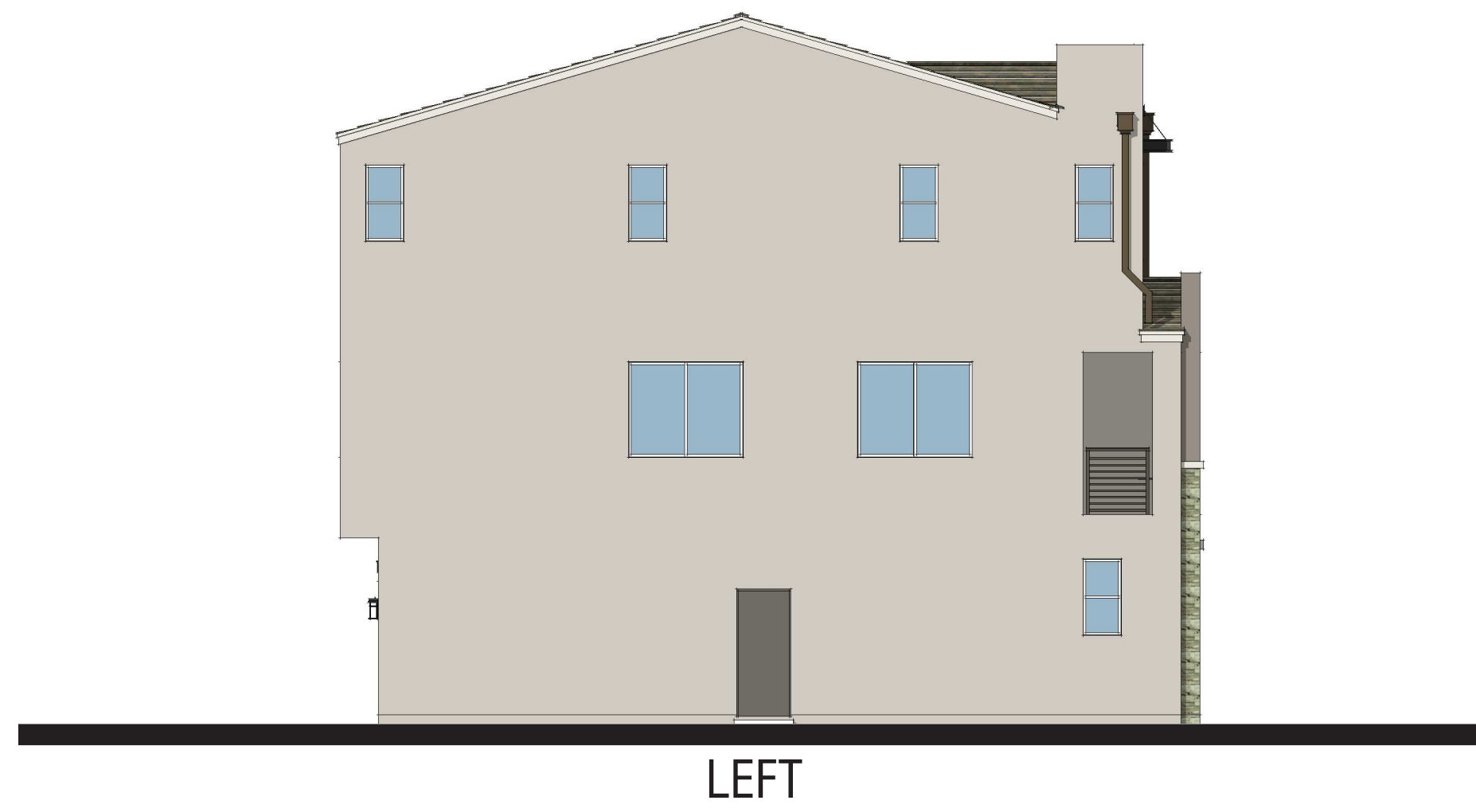
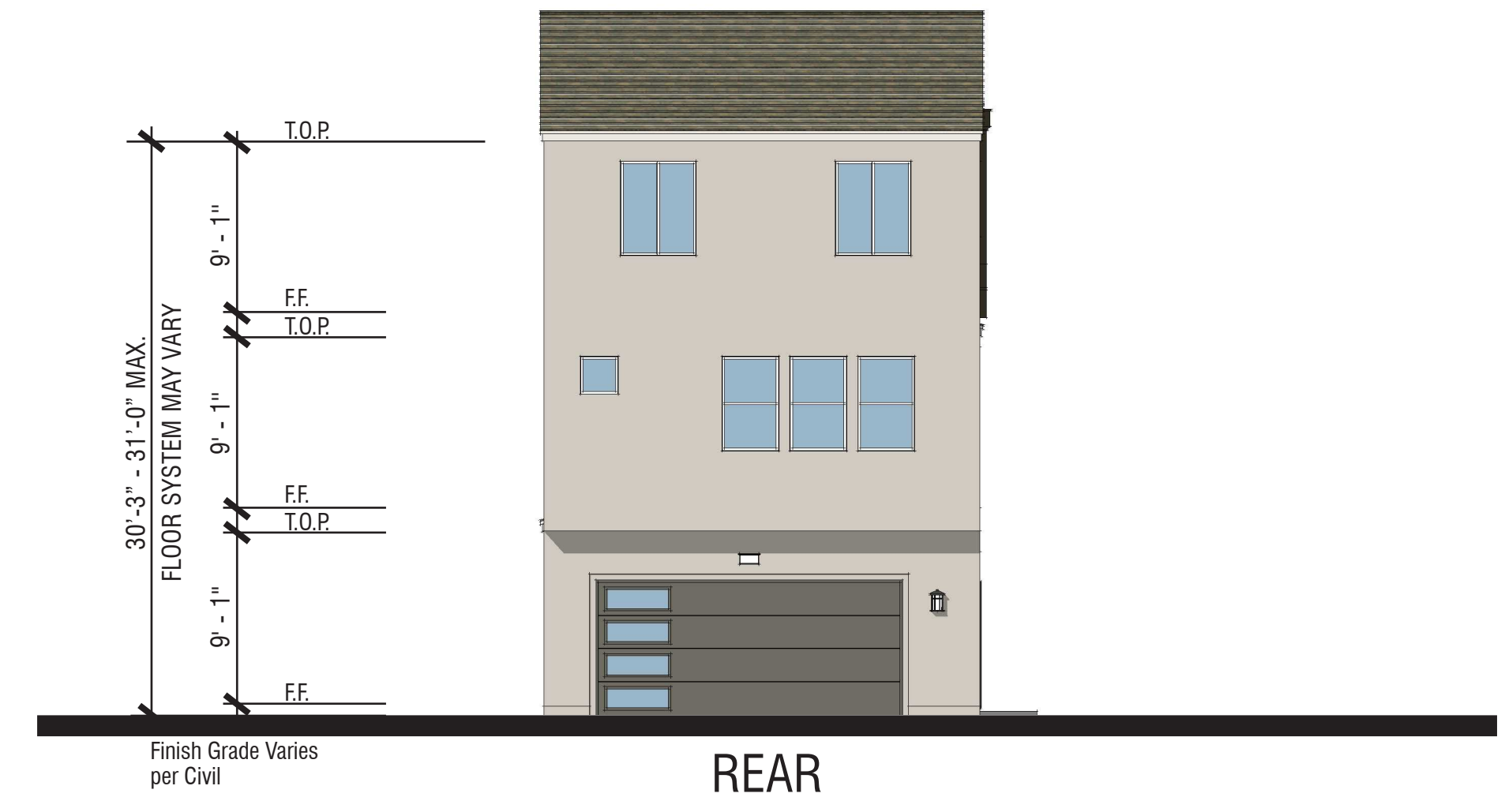
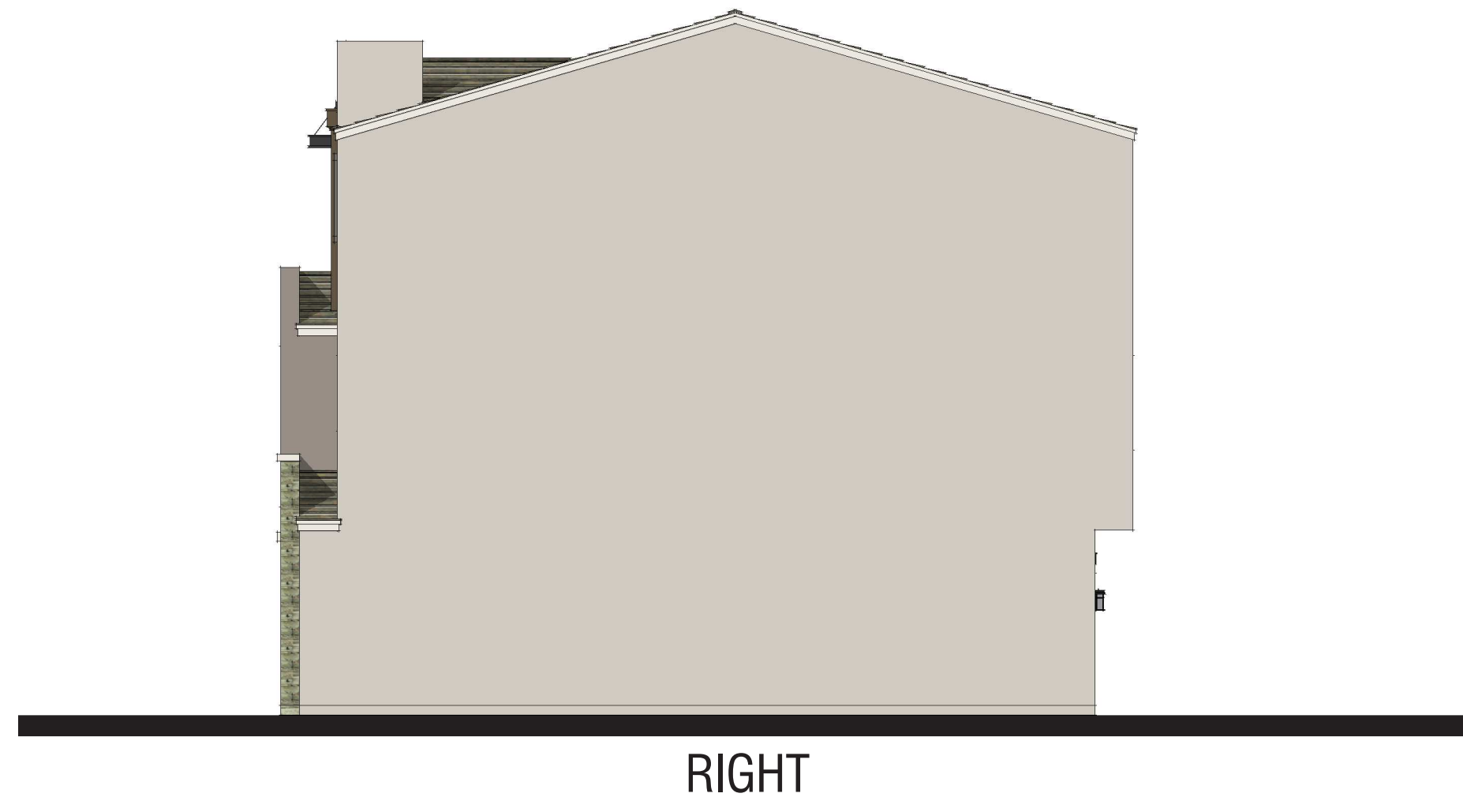
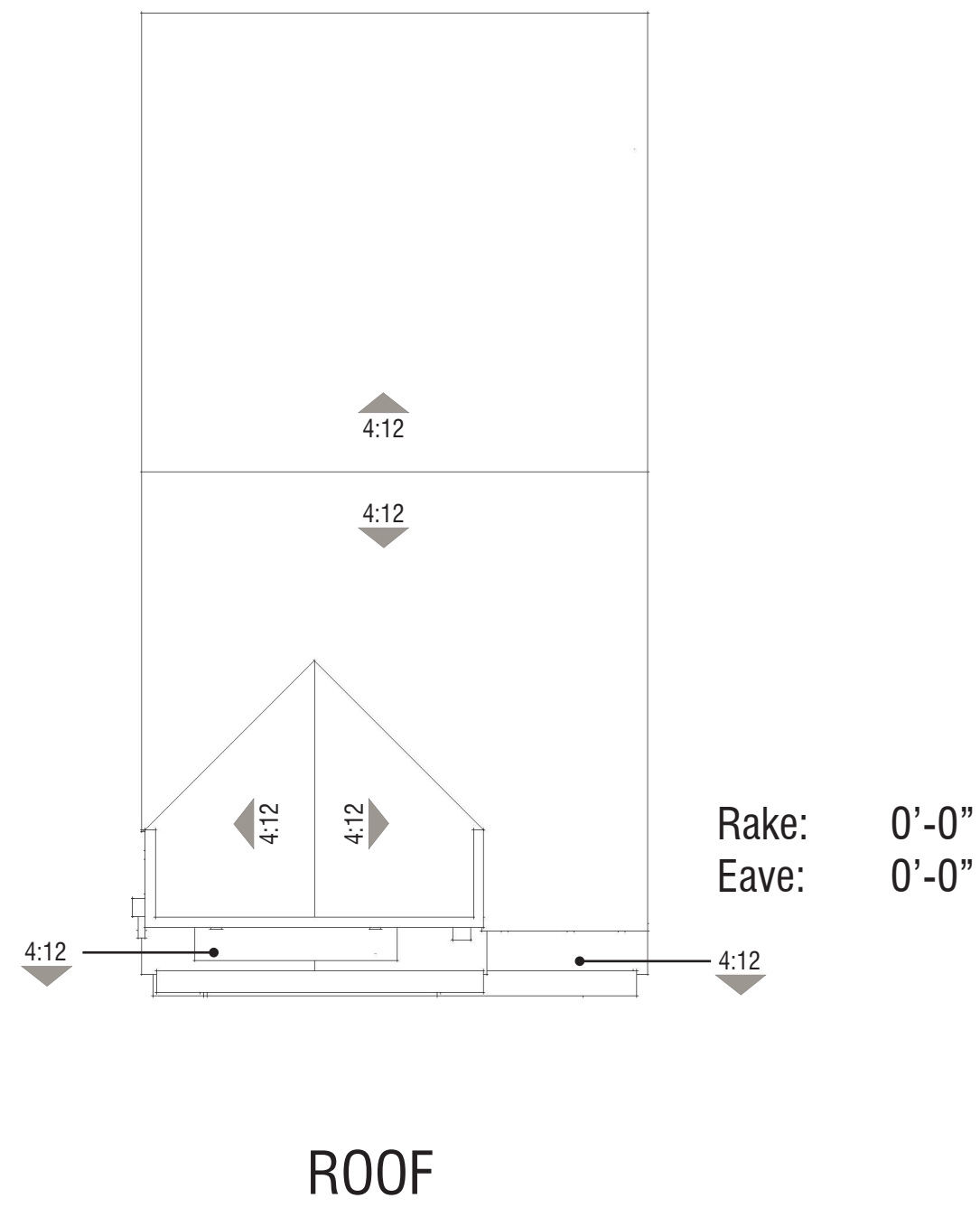
Color Scheme 2 Shown, Refer to Sheet CM-1

Adaptive Farmhouse Style

PLAN 2A | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA



BUILDING MATERIAL: INDUSTRIAL

Roof:	Flat Roof with Parapet; Concrete Flat Tile
Exterior:	Stucco Finish
Accent Windows:	Stucco over Foam Trim with Accent Color
Deck Accents:	Decorative Metal Railing
Window & Door Trim:	Vinyl
Awning:	Metal Awning
Accent:	Horizontal Inset Lap Siding, Stone Veneer
Entry Door:	Decorative Front Entry Door
Garage Door:	Sectional Garage Doors

Color Scheme 4 Shown, Refer to Sheet CM-2

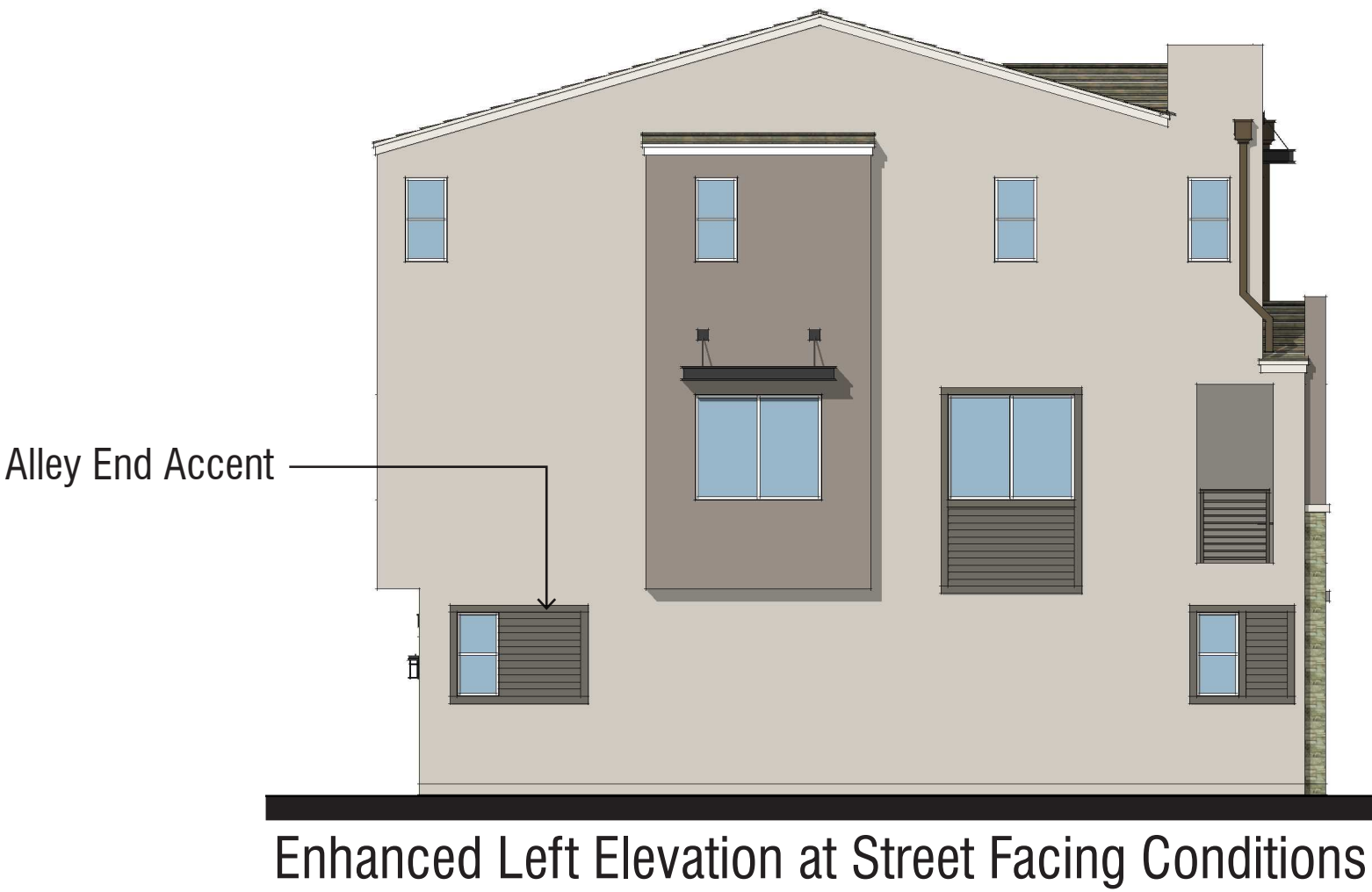
Industrial Style

PLAN 2B | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA

Standard Enhanced Elevation with Alley End Accent: Units 5, 21



Standard Enhanced Elevation: Units 33, and 78



Standard Enhanced Elevation with Alley End Accents: Units 71, and 89



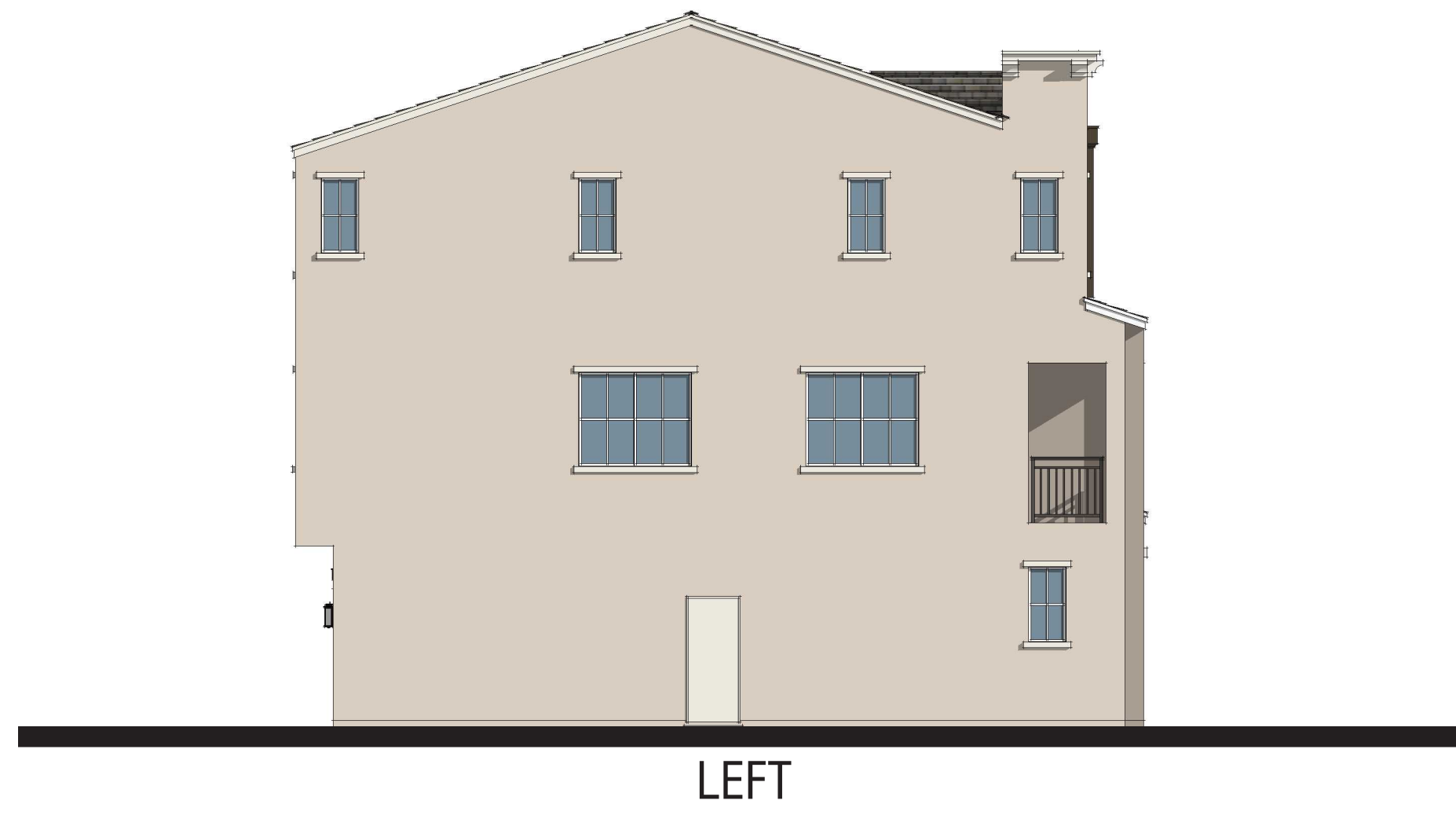
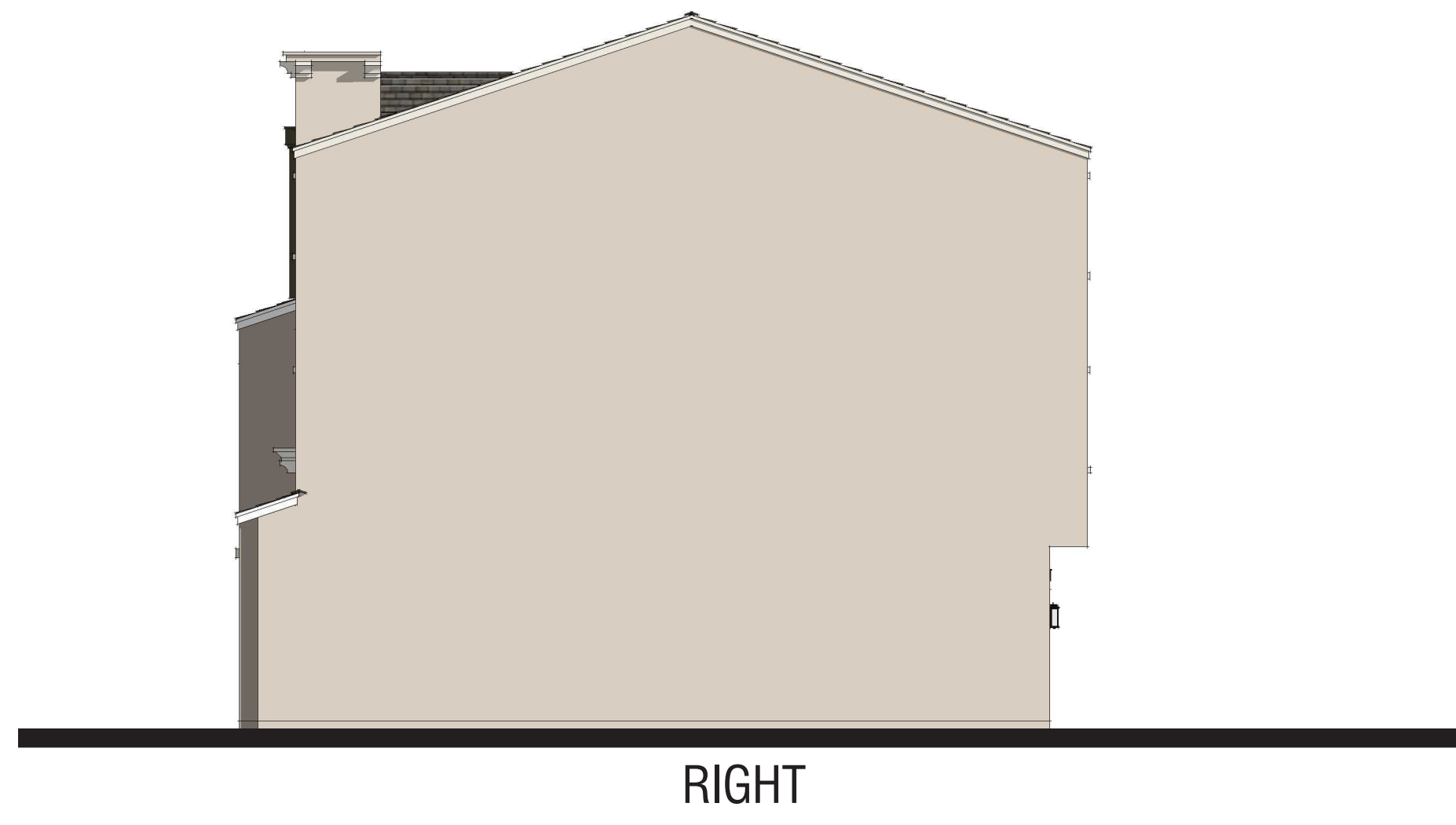
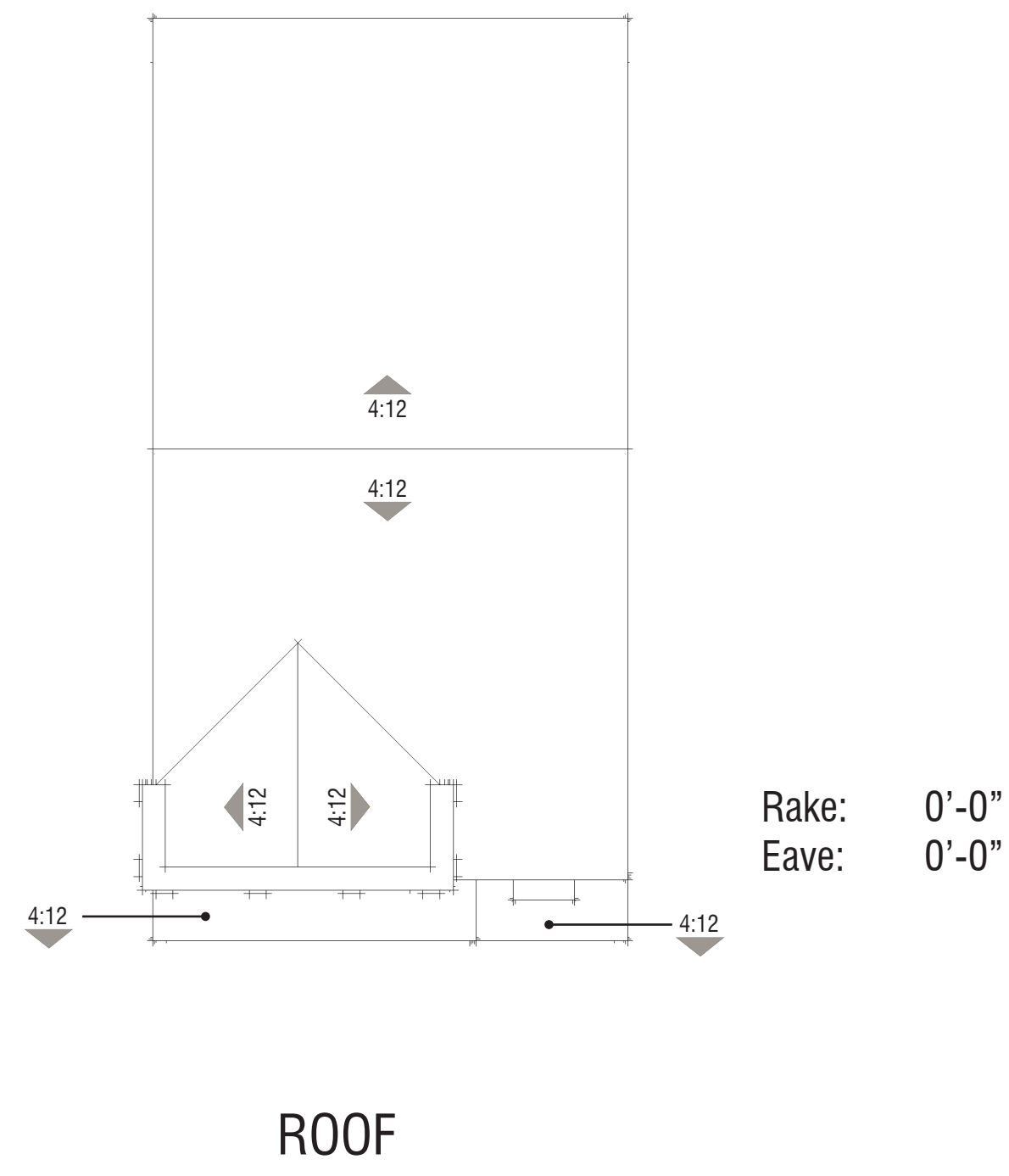
Color Scheme 4 Shown, Refer to Sheet CM-2

Industrial Style

PLAN 2B | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA



BUILDING MATERIAL: MAINSTREET

Roof:	Flat Roof with Parapet; Concrete Flat Tile
Exterior:	Stucco Finish
Accent Windows:	Stucco over Foam Trim with Accent Color
Deck Accents:	Decorative Metal Railing
Window & Door Trim:	Vinyl
Accent:	Fiber Cement Panel, Brick Veneer
Entry Door:	Decorative Front Entry Door
Garage Door:	Sectional Garage Doors

Color Scheme 6 Shown, Refer to Sheet CM-2

Mainstreet Style

PLAN 2C | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA

Standard Enhanced Elevation with Alley End
Accents: Units 66, and 74



Enhanced Left Elevation at Street Facing Conditions

Standard Enhanced Elevation: Units 73



Enhanced Left Elevation at Street Facing Conditions

Color Scheme 6 Shown, Refer to Sheet CM-2

Mainstreet Style

PLAN 2C | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA

NOTE:

1. Floor plans are for conceptual purposes only and will change through design process.
2. Further refinements to floor plans will be needed to reflect exterior elevations.
3. Square footage may vary depending on method of calculation.

4 Bdrm / 3 Bath / Tech / Flex / 2-Car Garage

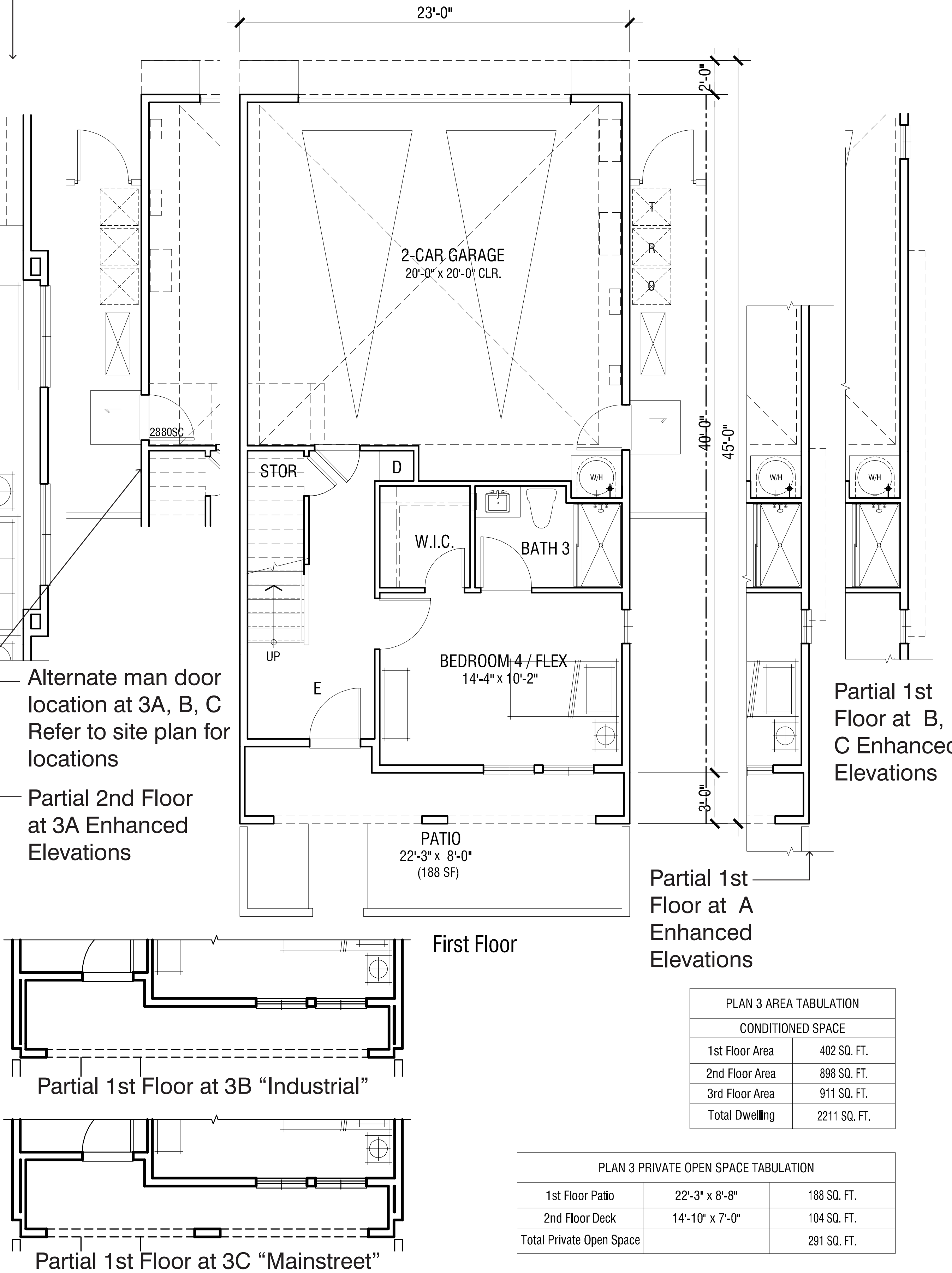
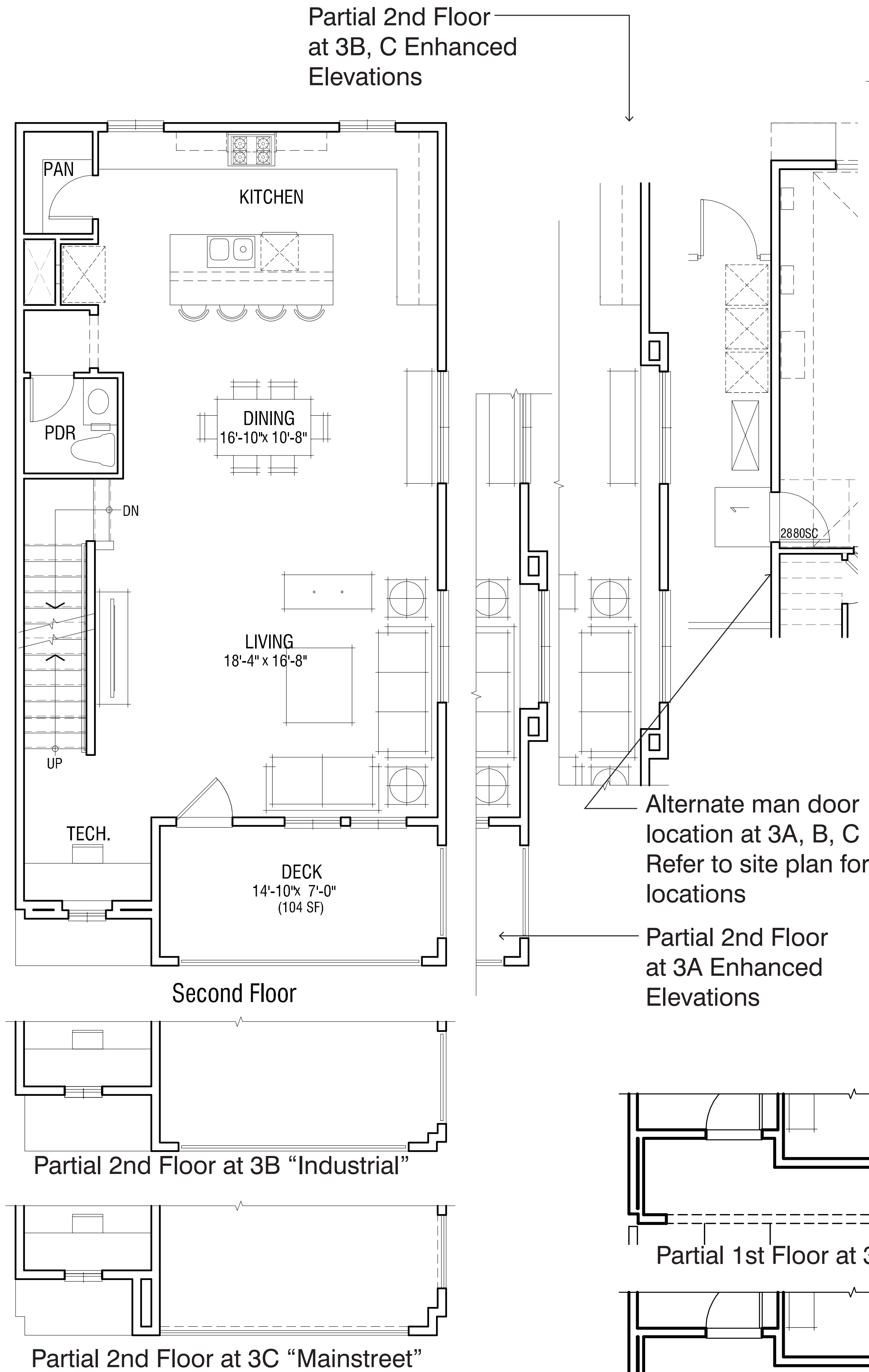
PLAN 3 | Conceptual Floor Plan

THE PRESERVE - BLOCK 8

CHINO, CA

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D

ARCHITECTS . PLANNERS . DESIGNERS

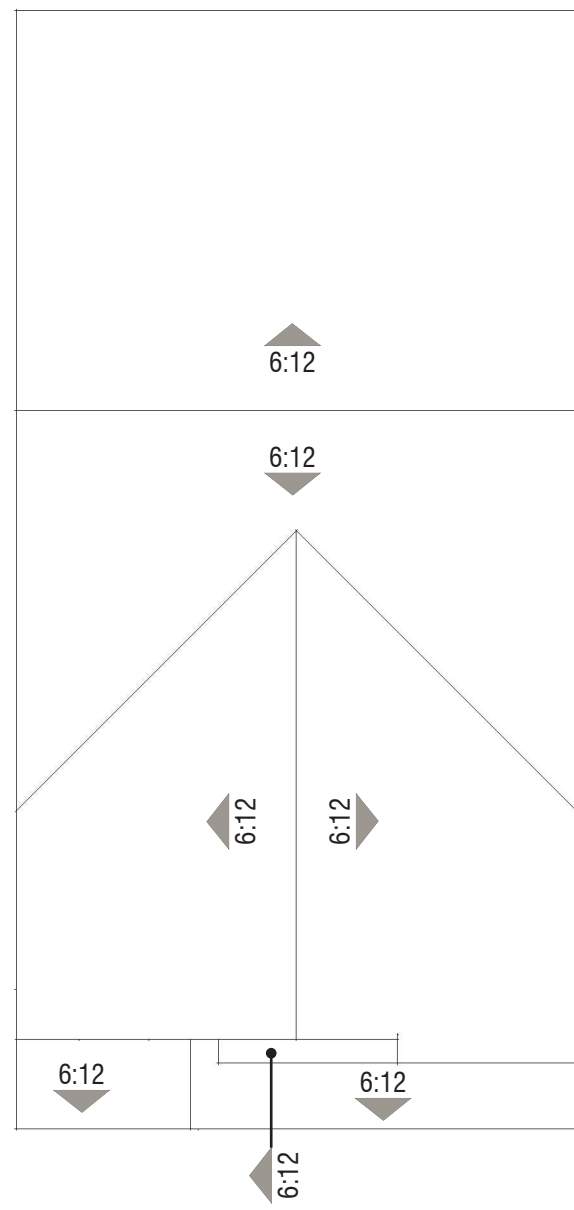


PLAN 3 AREA TABULATION	
CONDITIONED SPACE	
1st Floor Area	402 SQ. FT.
2nd Floor Area	898 SQ. FT.
3rd Floor Area	911 SQ. FT.
Total Dwelling	2211 SQ. FT.

PLAN 3 PRIVATE OPEN SPACE TABULATION		
1st Floor Patio	22'-3" x 8'-8"	188 SQ. FT.
2nd Floor Deck	14'-10" x 7'-0"	104 SQ. FT.
Total Private Open Space		291 SQ. FT.

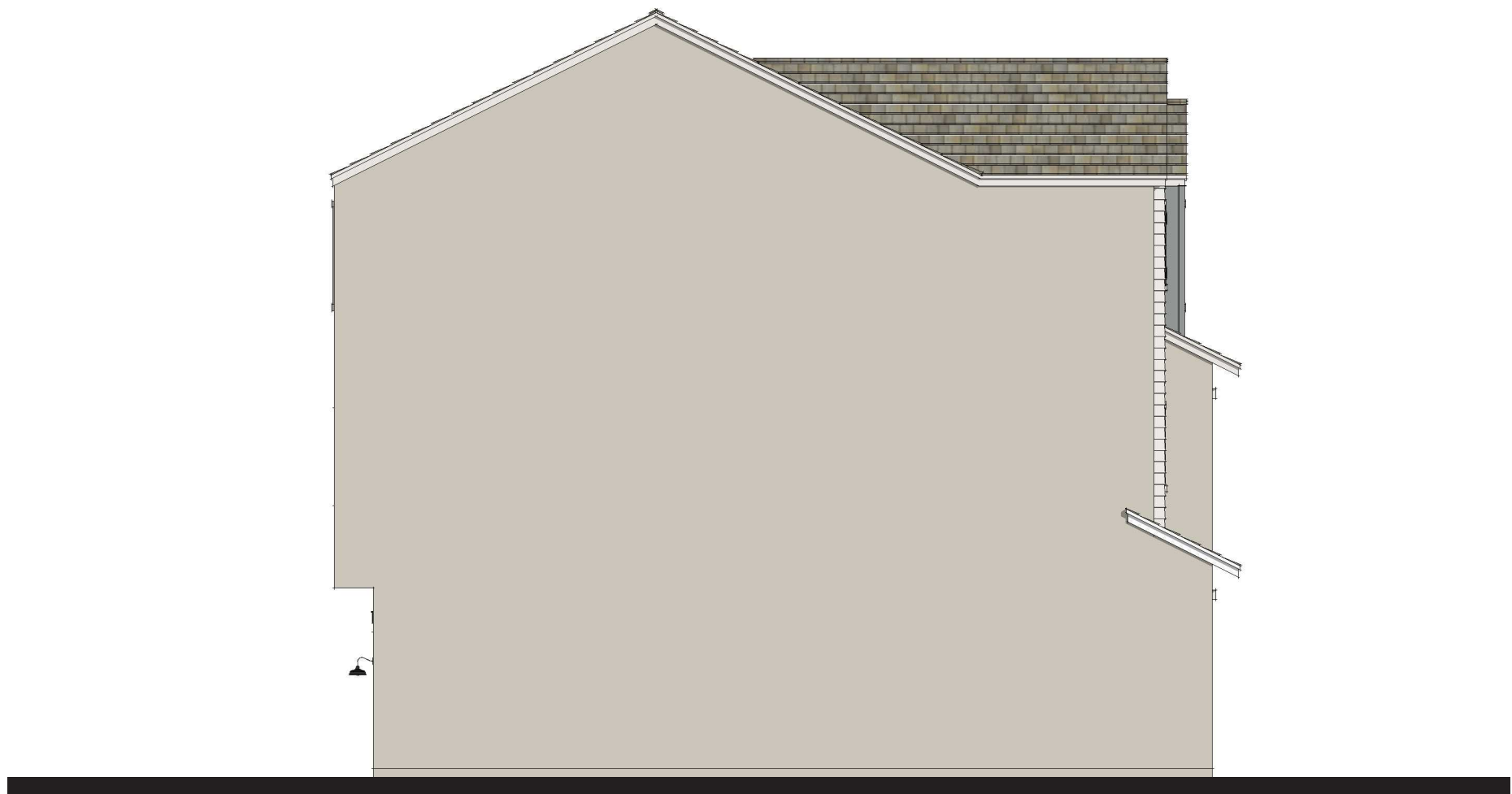
A-17

PLANNING SUBMITTAL 4



ROOF

Rake: 0'-0"
Eave: 0'-0"



LEFT



REAR



RIGHT



FRONT

Note: Artist's conception; colors, materials and application may vary.

BUILDING MATERIAL: ADAPTIVE FARMHOUSE

- Roof: Flat Roof with Parapet; Concrete Flat Tile
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Decorative Metal Railing
- Window & Door Trim: Vinyl
- Accent: Horizontal Lap Siding, Board and Batten
- Entry Door: Decorative Front Entry Door
- Garage Door: Sectional Garage Doors

Color Scheme 1 Shown, Refer to Sheet CM-1

Adaptive Farmhouse Style

PLAN 3A | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA

Standard Enhanced Elevation with Alley End Accent:
Unit 40, 48, and 56



Enhanced Right Elevation at Street Facing Conditions

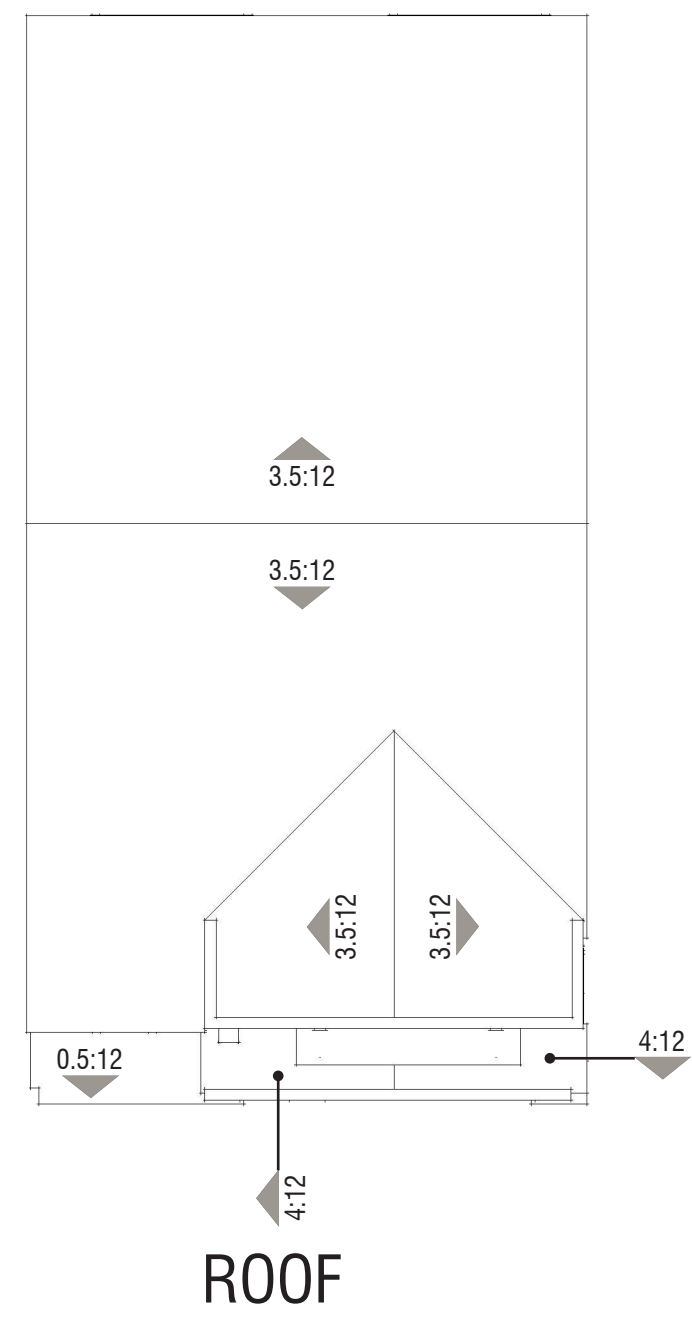
Color Scheme 1 Shown, Refer to Sheet CM-1

Adaptive Farmhouse Style

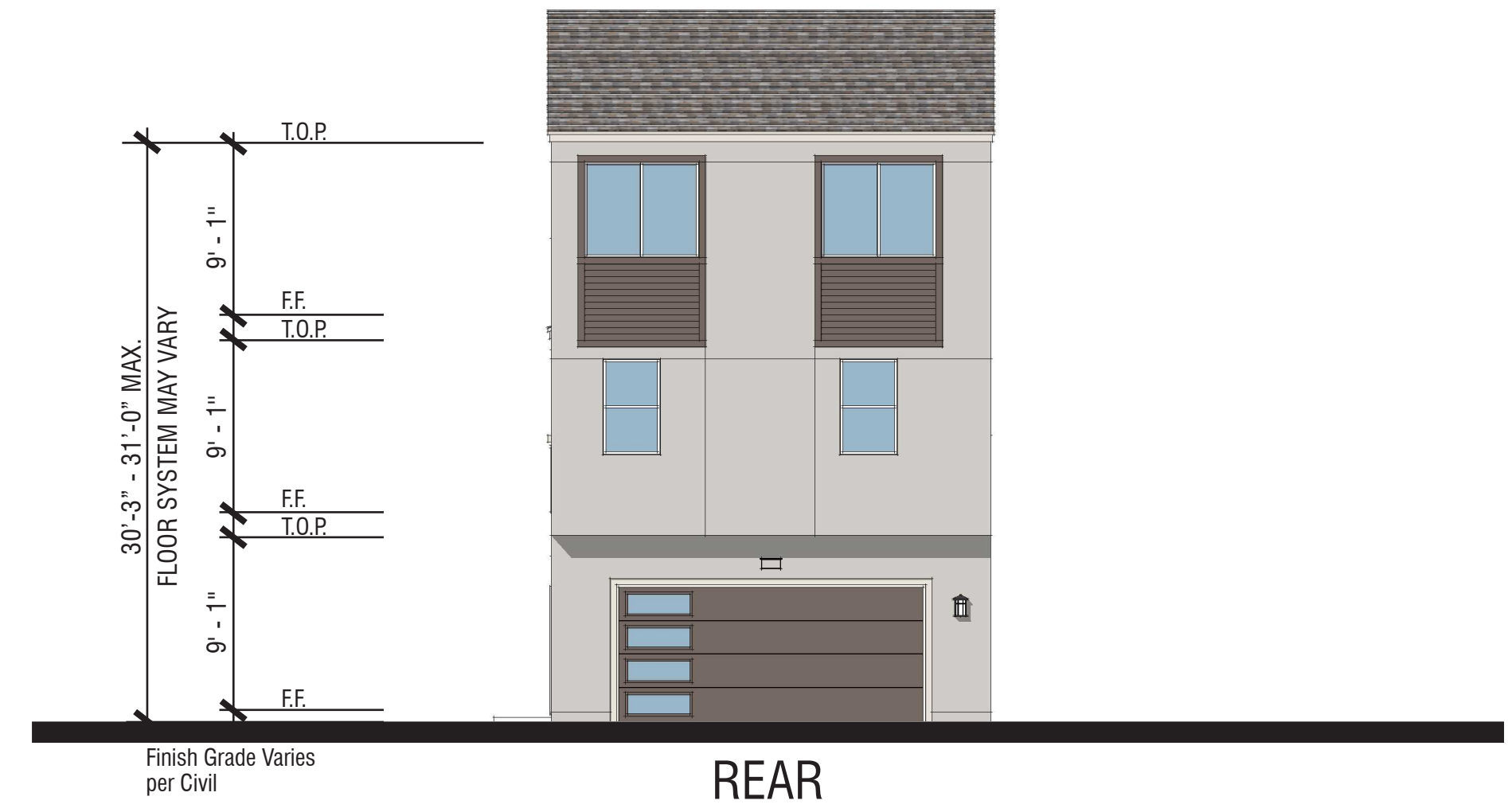
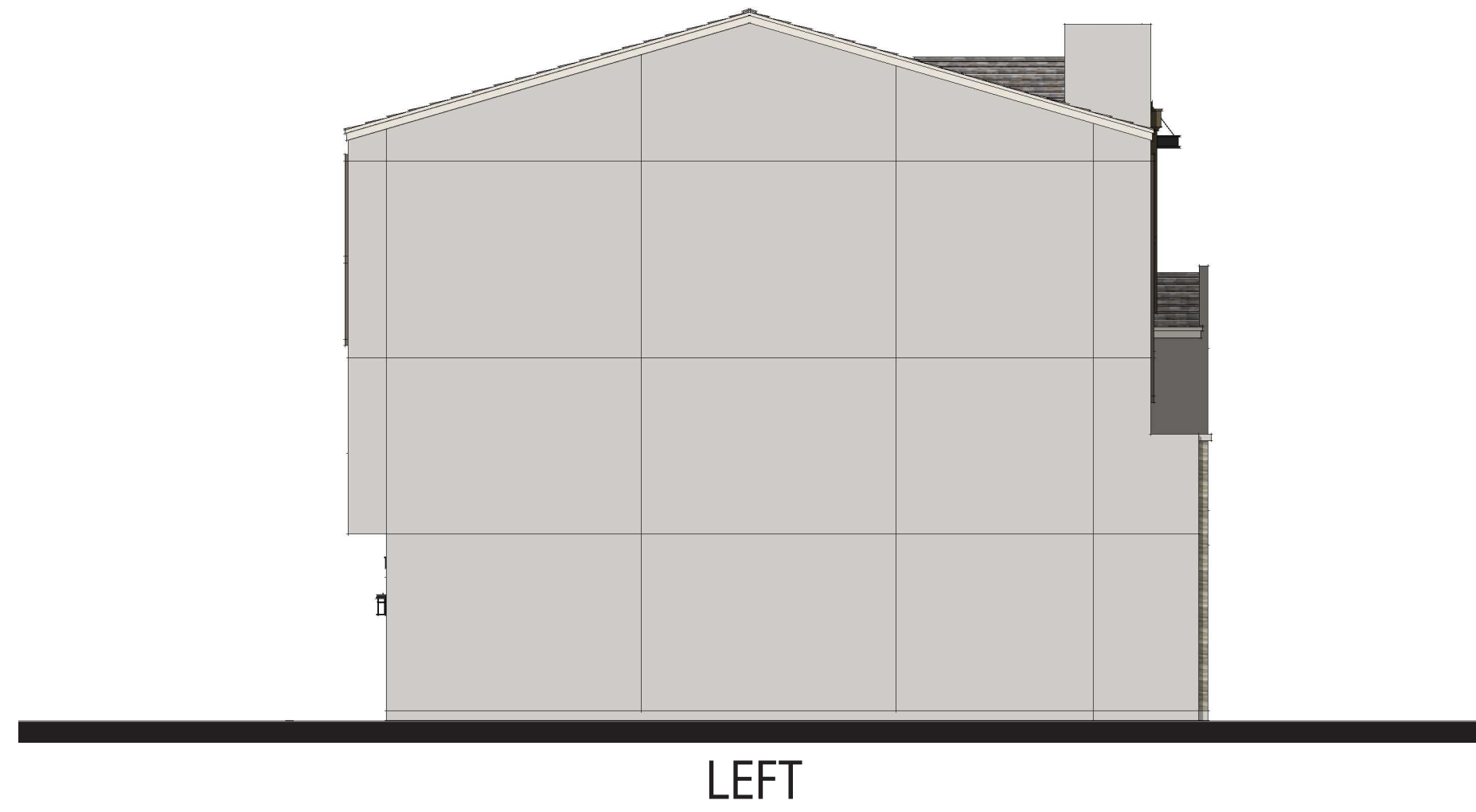
PLAN 3A | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA



Rake: 0'-0"
Eave: 0'-0"



Note: Artist's conception; colors, materials and application may vary.

BUILDING MATERIAL: INDUSTRIAL

Roof: Flat Roof with Parapet; Concrete Flat Tile
Exterior: Stucco Finish
Accent Windows: Stucco over Foam Trim with Accent Color
Deck Accents: Decorative Metal Railing
Window & Door Trim: Vinyl
Awning: Metal Awning
Accent: Horizontal Inset Lap Siding, Stone Veneer
Entry Door: Decorative Front Entry Door
Garage Door: Sectional Garage Doors

Color Scheme 3 Shown, Refer to Sheet CM-1

Industrial Style

PLAN 3B | Conceptual Elevations

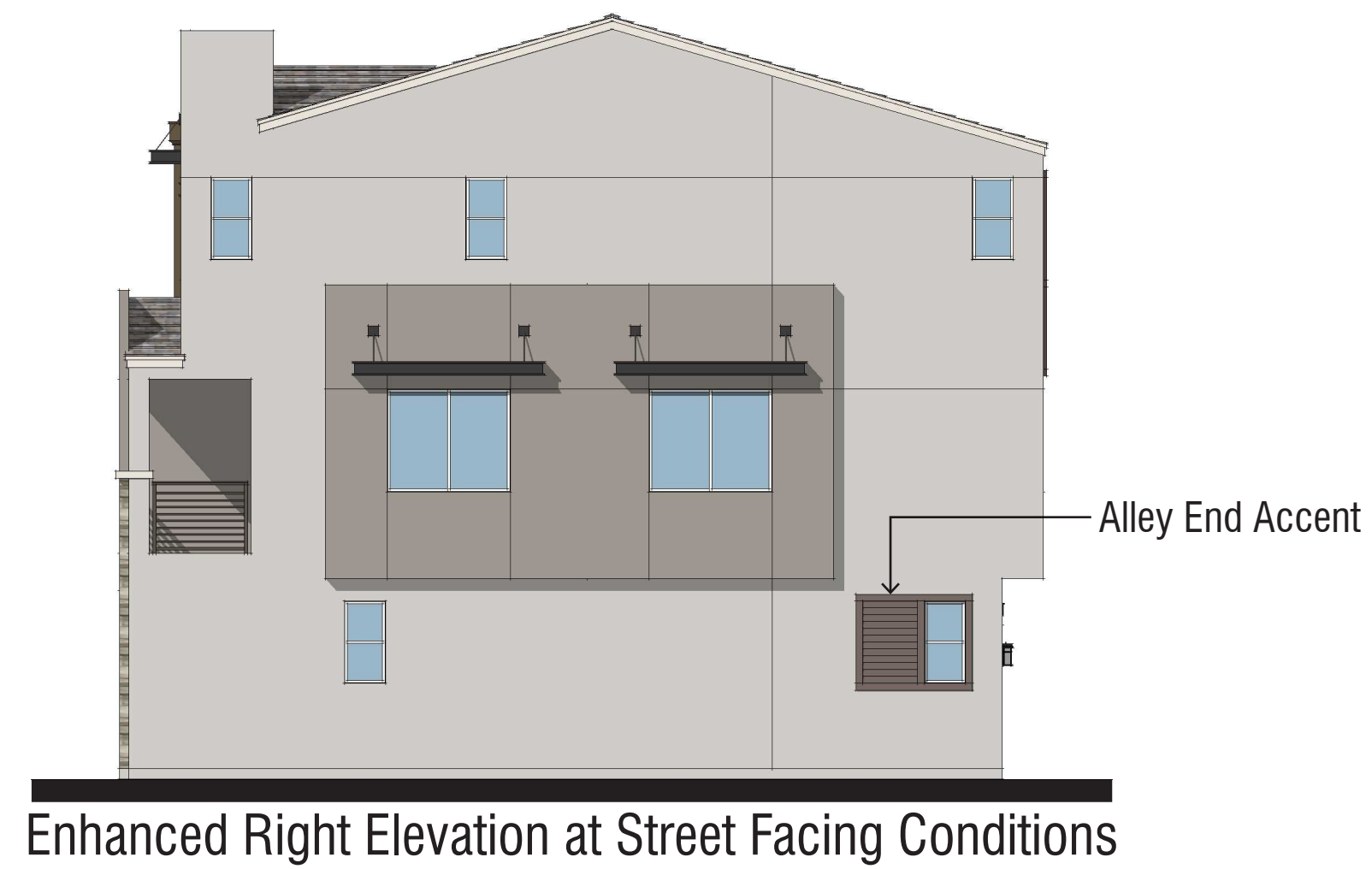
THE PRESERVE - BLOCK 8

CHINO, CA

Standard Enhanced Elevation: Unit 1



Standard Enhanced Elevation with Alley
end Accents: Units 13, and 44



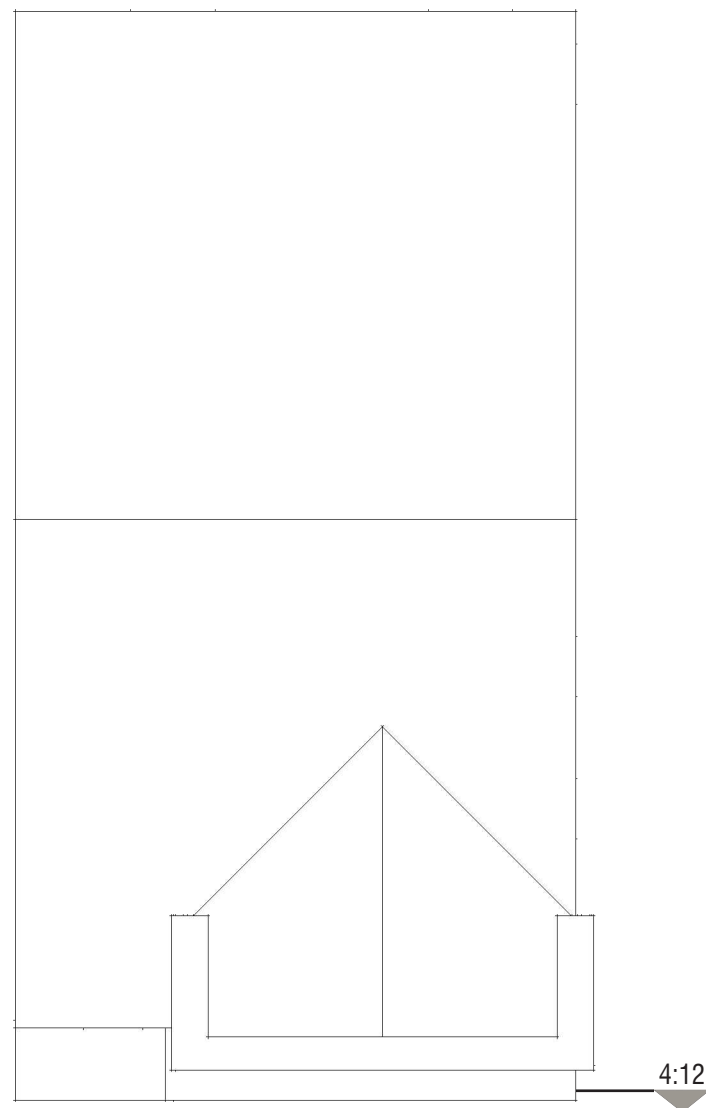
Color Scheme 3 Shown, Refer to Sheet CM-1

Industrial Style

PLAN 3B | Conceptual Elevations

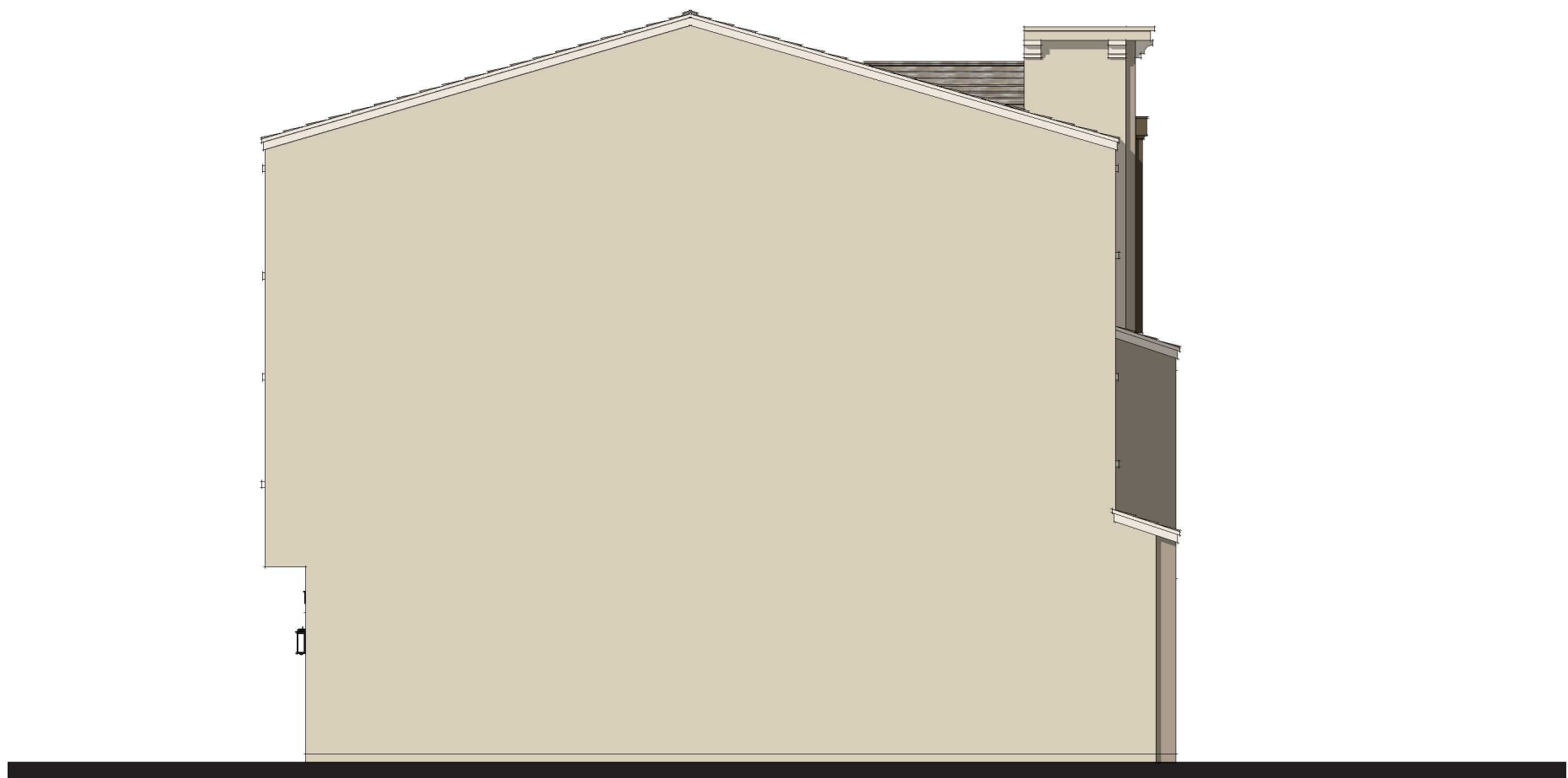
THE PRESERVE - BLOCK 8

CHINO, CA



ROOF

Rake: 0'-0"
Eave: 0'-0"



LEFT



Finish Grade Varies
per Civil

REAR



RIGHT



Highest Ridge
T.O.P.
9'-1"
FF
T.O.P.
9'-1"
FF
T.O.P.
9'-1"
FF
Finish Grade Varies
per Civil

FRONT

Note: Artist's conception; colors, materials
and application may vary.

BUILDING MATERIAL: MAINSTREET

- Roof: Flat Roof with Parapet; Concrete Flat Tile
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Decorative Metal Railing
- Window & Door Trim: Vinyl
- Accent: Fiber Cement Panel, Brick Veneer
- Entry Door: Decorative Front Entry Door
- Garage Door: Sectional Garage Doors

Color Scheme 5 Shown, Refer to Sheet CM-2

Mainstreet Style

PLAN 3C | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA



A-22

PLANNING SUBMITTAL 4

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Standard Enhanced Elevation
with Alley End Accent: Unit 17



Color Scheme 5 Shown, Refer to Sheet CM-2

Mainstreet Style

PLAN 3C | Conceptual Elevations

THE PRESERVE - BLOCK 8

CHINO, CA

A-23

PLANNING SUBMITTAL 4

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ARCHITECTS . PLANNERS . DESIGNERS

WHA

ORANGE COUNTY . LOS ANGELES . BAY AREA . SACRAMENTO

Adaptive Farmhouse Style
Design Guidelines Requirements (Pg. 64)

ELEMENT	MINIMUM REQUIREMENTS	ENHANCEMENTS
Form	<ul style="list-style-type: none">● Simple plan form massing and simple roof design	
Roof	<ul style="list-style-type: none">● 4:12 to 6:12 Main Roof Pitch● Accent Roof at 5:12-12:12 Pitch· Front to back main gable roof● Minimum 6" overhangs● Concrete tile with flat or shingled appearance	<ul style="list-style-type: none">● Side-to-side main gable roof with two front-facing smaller gables● 12" overhangs at primary locations
Walls	<ul style="list-style-type: none">· Horizontal Siding at primary exposed area● Stucco at secondary areas	<ul style="list-style-type: none">● Combination of horizontal siding and vertical siding· Stone or brick veneer accents
Windows	<ul style="list-style-type: none">● Windows with a vertical mullion pattern at front elevation and at side and rear elevations exposed to public view● Window trim on four sides of window	<ul style="list-style-type: none">· Upgraded window header or sill trim at front elevation· Bay window
Details	<ul style="list-style-type: none">· Simple wood columns and railings at porches if applicable· Shutters with louver-board detail	<ul style="list-style-type: none">· Diagonal braces at columns· Potshelves· Cupolas or weather-vanes· Dormers· Upgraded Garage Door Details● Decorative Light Fixtures
Colors	<ul style="list-style-type: none">· Field: Whites or light tinted colors· Trim: Whites or light shades complementary to field color· Accents: Light or dark shades in contrast with field color	



ARCHITECTURAL DETAILS : ADAPTIVE FARMHOUSE
THE PRESERVE - BLOCK 8

CHINO, CA

Industrial Style
Design Guidelines Requirements (Pg. 163)

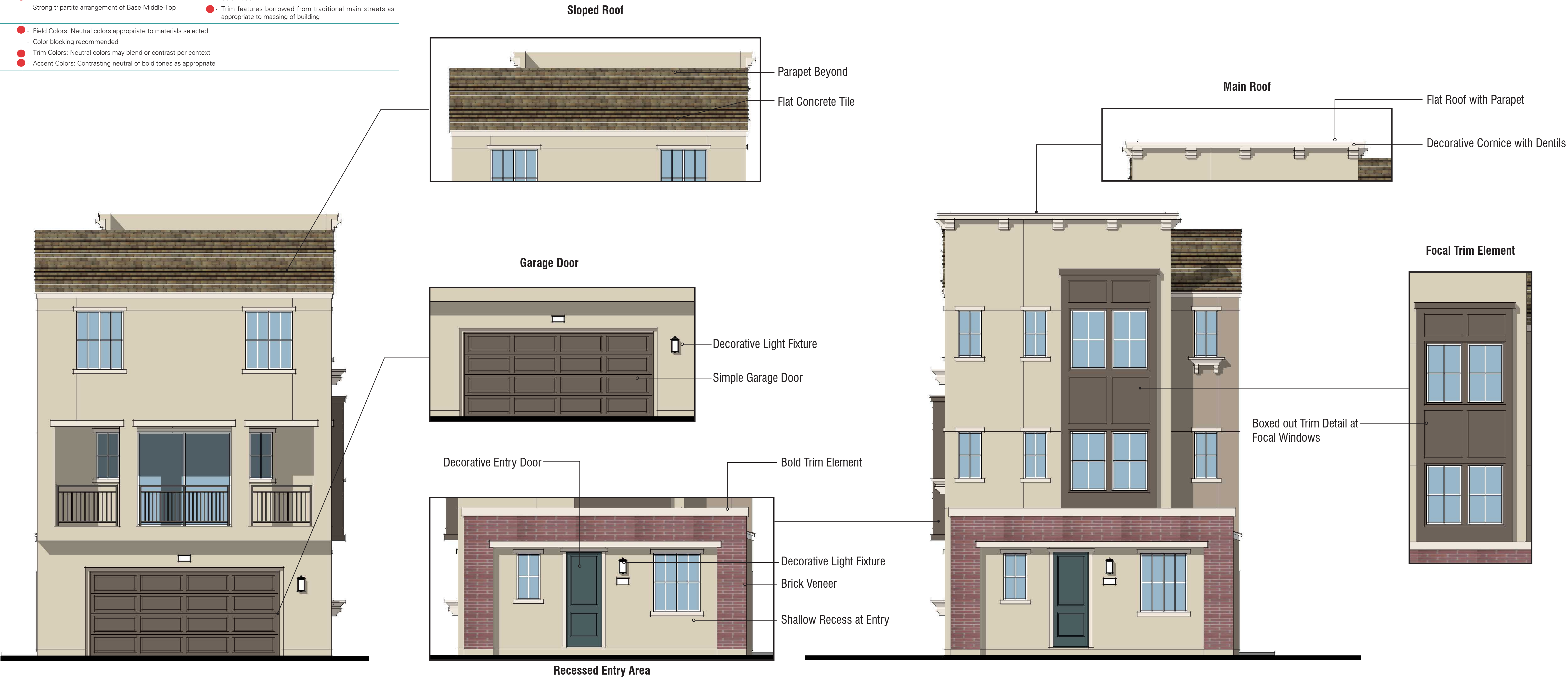
ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none">Flat roofs work well for this stylePitched roofs allowed for added interestSimple unadorned parapet wallsBuilt-up roofing at flat areasFlat or shake tile pattern for sloped areas	<ul style="list-style-type: none">Decorative band or trim along parapetAccent roof element (shed, hip, or gable)Cantilevered projections
Walls	<ul style="list-style-type: none">Stucco predominatesFiber-cement siding accentsAsymmetrical facade	<ul style="list-style-type: none">Accents of metal, brick, or sidingUse of control joints to add interest to large expanses
Windows	<ul style="list-style-type: none">Vertically proportionedPurposely placedRepetitive mullionsMinimal or exaggerated window trim	<ul style="list-style-type: none">Simple industrial dark window trimLarge window modulesLong ribbon of windowsNon-traditional window shapes and placements
Doors	<ul style="list-style-type: none">Simple entry doorsSimple pattern garage doors	<ul style="list-style-type: none">Entry doors with windowsGarage doors with windows
Details	<ul style="list-style-type: none">Projected wall planes to articulate the façadeSimple unadorned formsAsymmetrical facade	<ul style="list-style-type: none">Utilitarian style shade devicesSleek railing linesMetal awnings or overhangsMetal, cable, or glass panel railings
Colors	<ul style="list-style-type: none">Field Colors: Neutral to bold colors including whites and tintsColor blocking recommendedTrim Colors: Contrasting neutral tones	
	<ul style="list-style-type: none">Accent Colors: Bold, contemporary accents strategically applied	



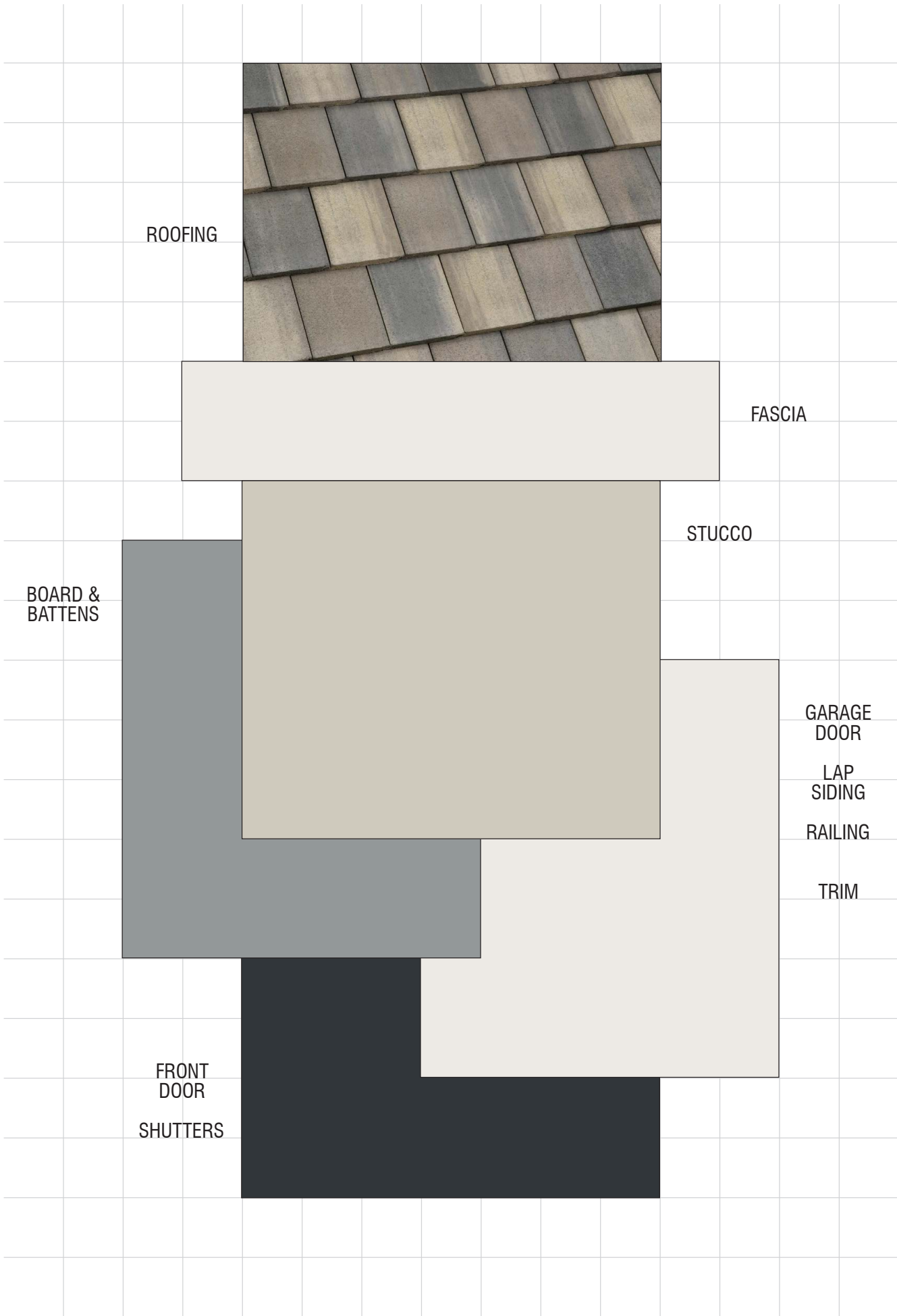
ARCHITECTURAL DETAILS : INDUSTRIAL
THE PRESERVE - BLOCK 8
CHINO, CA

Mainstreet Style
Design Guidelines Requirements (Pg. 169)

ELEMENTS	MINIMUM REQUIREMENTS	ENHANCEMENTS
Roof	<ul style="list-style-type: none">Flat roofs work well for this styleBuilt-up roofing at flat areasFlat or shake tile pattern for sloped areas	<ul style="list-style-type: none">Decorative corniceProjecting awnings
Walls	<ul style="list-style-type: none">Stucco predominatesBold trim elementsStrong base presence	<ul style="list-style-type: none">Brick veneer accentsSiding or metal panelsUse of control joints to add interest to large expanses
Windows	<ul style="list-style-type: none">Vertically proportionedMullions at upper levelsFully trimmed windows or recessed depending on chosen vernacular	<ul style="list-style-type: none">Awnings at selected windowsWindow pediments at focal windowsTransoms
Doors	<ul style="list-style-type: none">Simple entry doorsSimple garage doors	<ul style="list-style-type: none">Entry doors with windowsGarage doors with windows
Details	<ul style="list-style-type: none">Simple box massingShallow recessed entriesStrong tripartite arrangement of Base-Middle-Top	<ul style="list-style-type: none">Horizontal belt courseStorefront-like windows at ground levelColonnadeTrim features borrowed from traditional main streets as appropriate to massing of building
Colors	<ul style="list-style-type: none">Field Colors: Neutral colors appropriate to materials selectedColor blocking recommendedTrim Colors: Neutral colors may blend or contrast per contextAccent Colors: Contrasting neutral of bold tones as appropriate	



ARCHITECTURAL DETAILS : MAINSTREET
THE PRESERVE - BLOCK 8
CHINO, CA



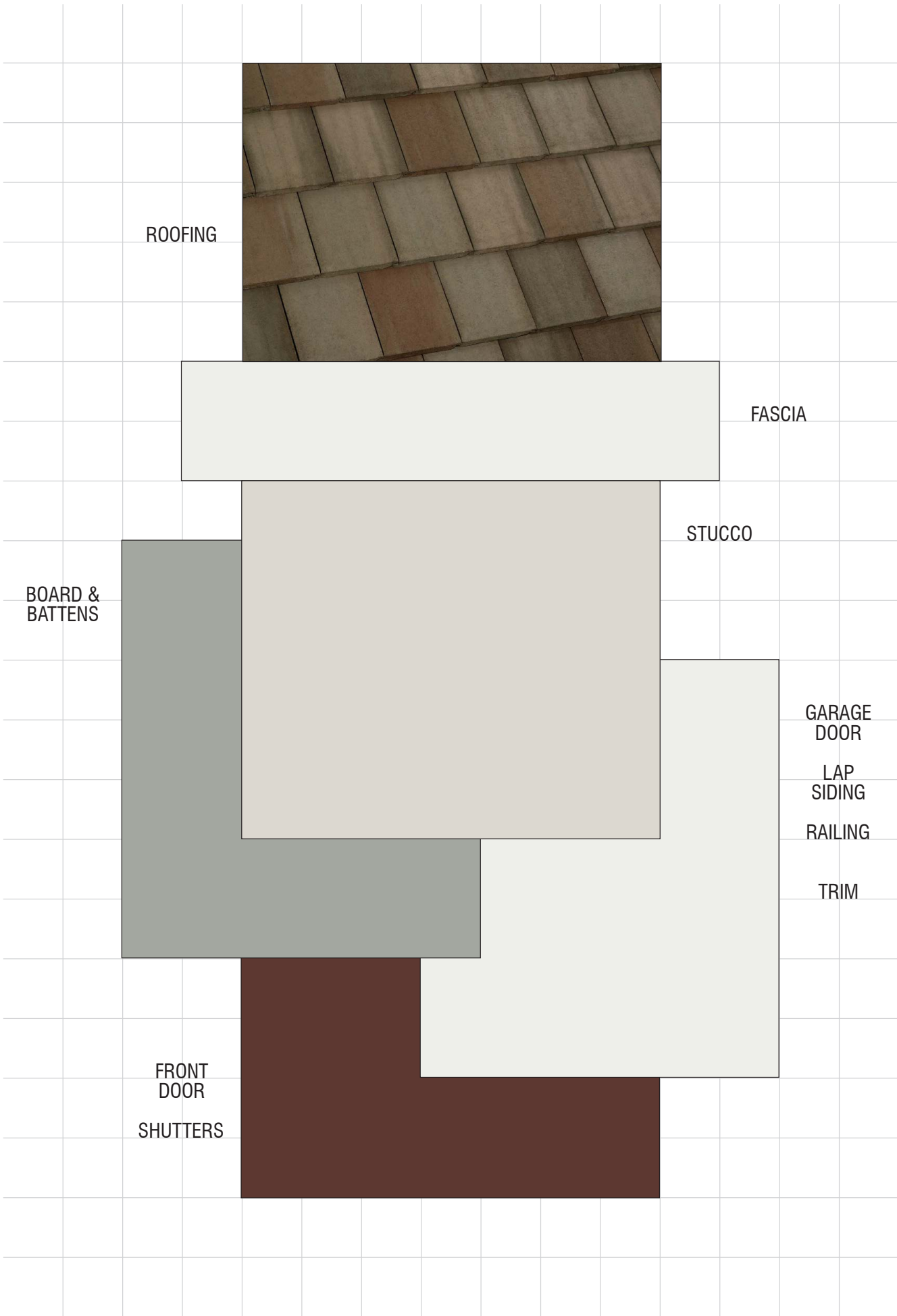
Preliminary Exterior Color & Materials

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	SCB 8827 Tacoma Blend Ref: .15 Emic: .92 A.SRI: 17 CRRC: 0918-0047	Eagle
TPO Roofing (factory finish)	White	TBD
Vinyl Windows (factory finish)	White	TBD
Gutters & Downspouts (factory finish)	TBD	TBD
Stucco (16/20 sand finish)	TBD (Match Sherwin Williams SW 7050 Useful Gray)	Omega
Siding Color (applied to): Board & Battens Corner Boards	SW 9162 African Gray	Sherwin Williams
Trim Color (applied to): Barge Boards Braces Corner Boards Eaves Fascia Garage Door Lap Siding Railing Trim	SW 7004 Snowbound	Sherwin Williams
Accent Color (applied to): Front Door Secondary Doors Shutters	SW 6992 Inkwell	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Jennifer Sandate (949) 250-0607.

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Adaptive Farmhouse Scheme 1



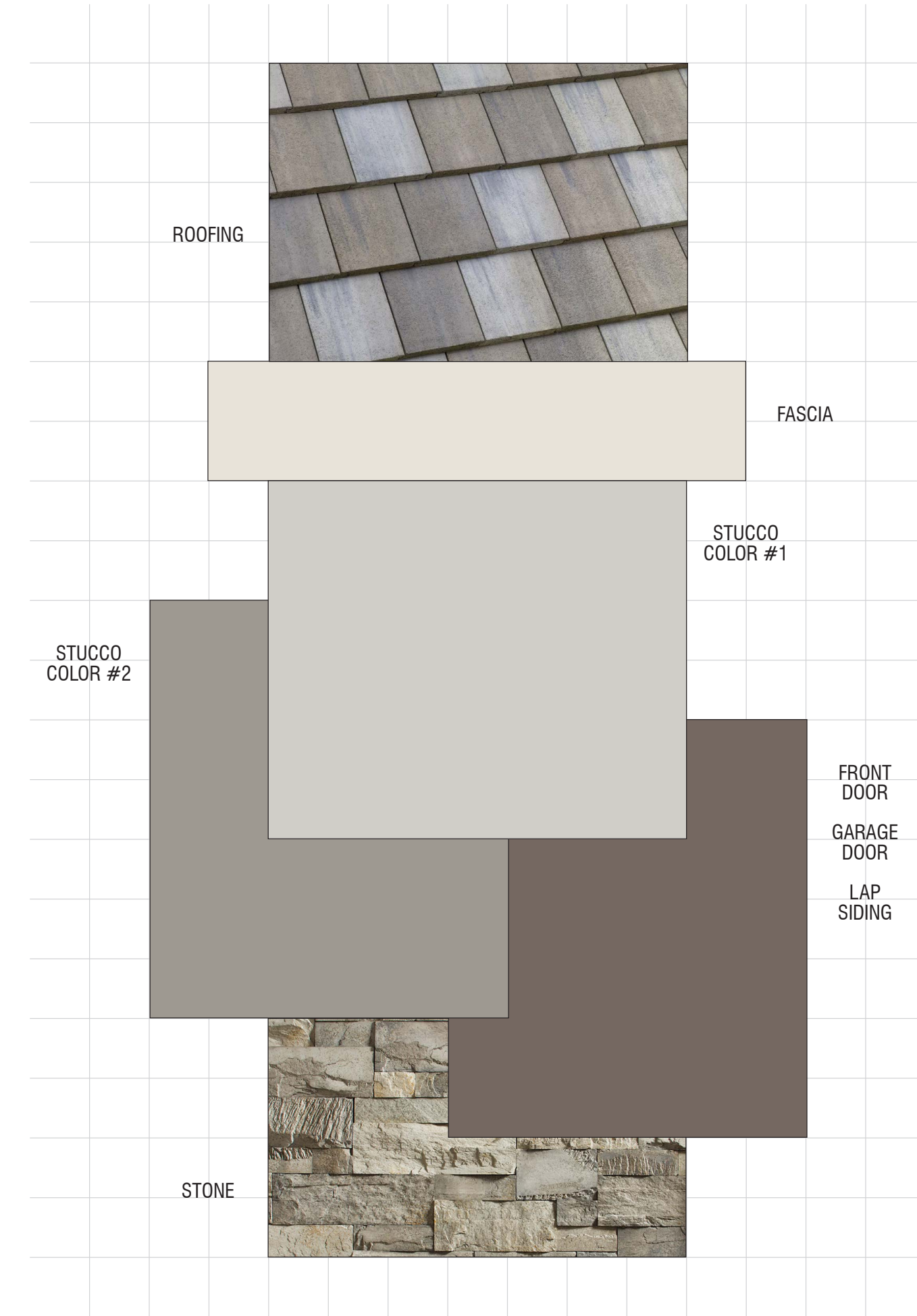
Preliminary Exterior Color & Materials

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4713 Tiburon Blend Ref: .17 Emic: .93 A.SRI: 18 CRRC: 0918-0121	Eagle
TPO Roofing (factory finish)	White	TBD
Vinyl Windows (factory finish)	White	TBD
Gutters & Downspouts (factory finish)	TBD	TBD
Stucco (16/20 sand finish)	TBD (Match Sherwin Williams SW 9166 Drift of Mist)	Omega
Siding Color (applied to): Board & Battens Corner Boards	SW 7059 Unusual Gray	Sherwin Williams
Trim Color (applied to): Barge Boards Braces Corner Boards Eaves Fascia Garage Door Lap Siding Railing Trim	SW 7006 Extra White	Sherwin Williams
Accent Color (applied to): Front Door Secondary Doors Shutters	SW 6055 Fiery Brown	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Jennifer Sandate (949) 250-0607.

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Adaptive Farmhouse Scheme 2



Preliminary Exterior Color & Materials

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4883 Hillsborough Blend Ref: .17 Emic: .94 A.SRI: 19 CRRC: 0918-0098	Eagle
TPO Roofing (factory finish)	White	TBD
Vinyl Windows (factory finish)	White	TBD
Gutters & Downspouts (factory finish)	TBD	TBD
Manufactured Stone (dry-stacked joints)	Grey Pearl Craft Split Modular (50/50 blend of sizes)	Creative Mines
Stucco Color #1 (16/20 sand finish)	TBD (Match Sherwin Williams SW 7671 On The Rocks)	Omega
Stucco Color #2 (16/20 sand finish)	TBD (Match Sherwin Williams SW 9170 Acier)	Omega
Trim Color #1 (applied to): Front Door Garage Door Lap Siding Secondary Doors	SW 6075 Garret Gray	Sherwin Williams
Trim Color #2 (applied to): Eaves Fascia Trim	SW 7009 Pearly White	Sherwin Williams
Metal Accent (applied to): Awning Railing	SW 7069 Iron Ore	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

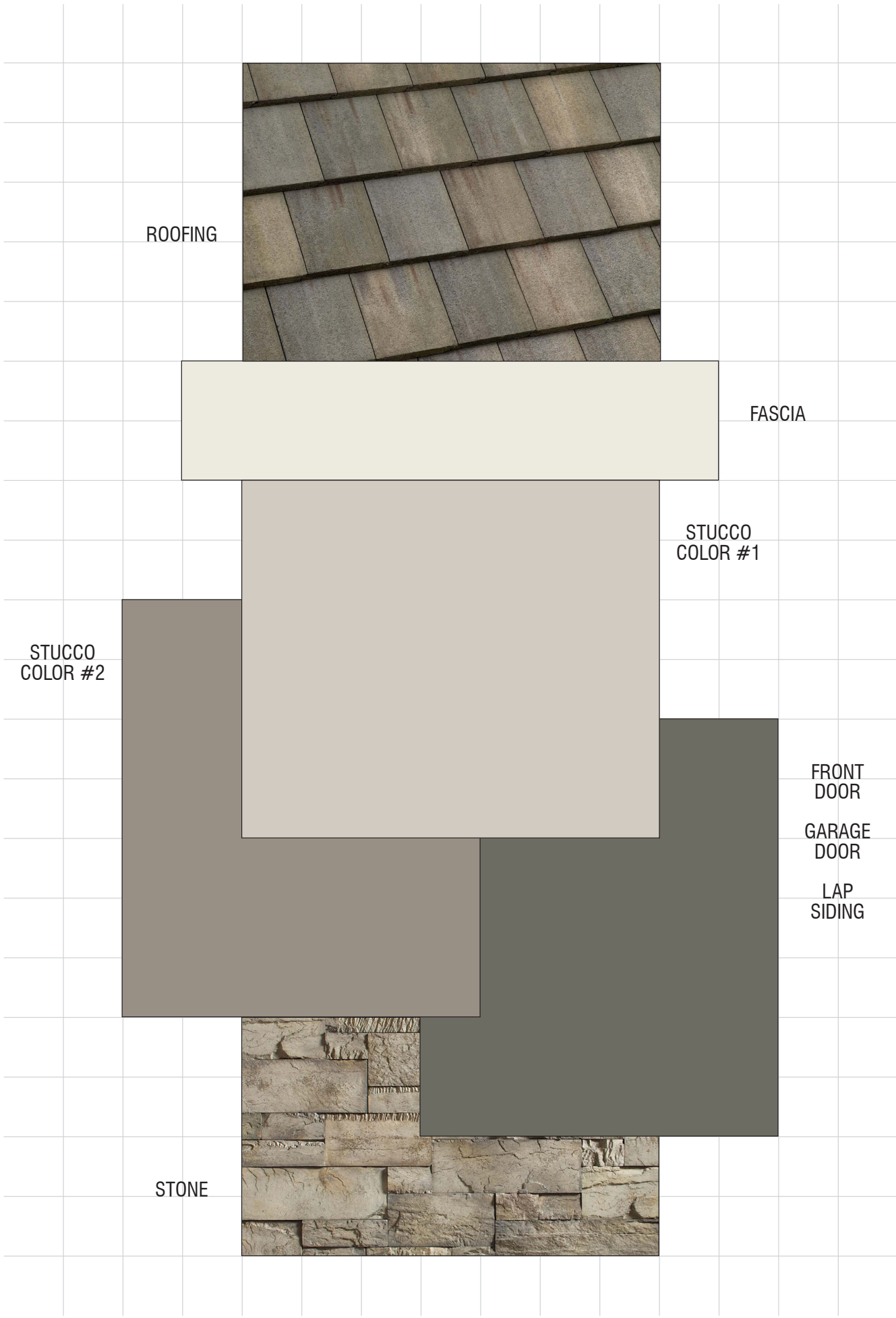
NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Jennifer Sandate (949) 250-0607.

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Industrial Scheme 3

CONCEPTUAL COLOR AND MATERIALS
THE PRESERVE - BLOCK 8

CHINO, CA



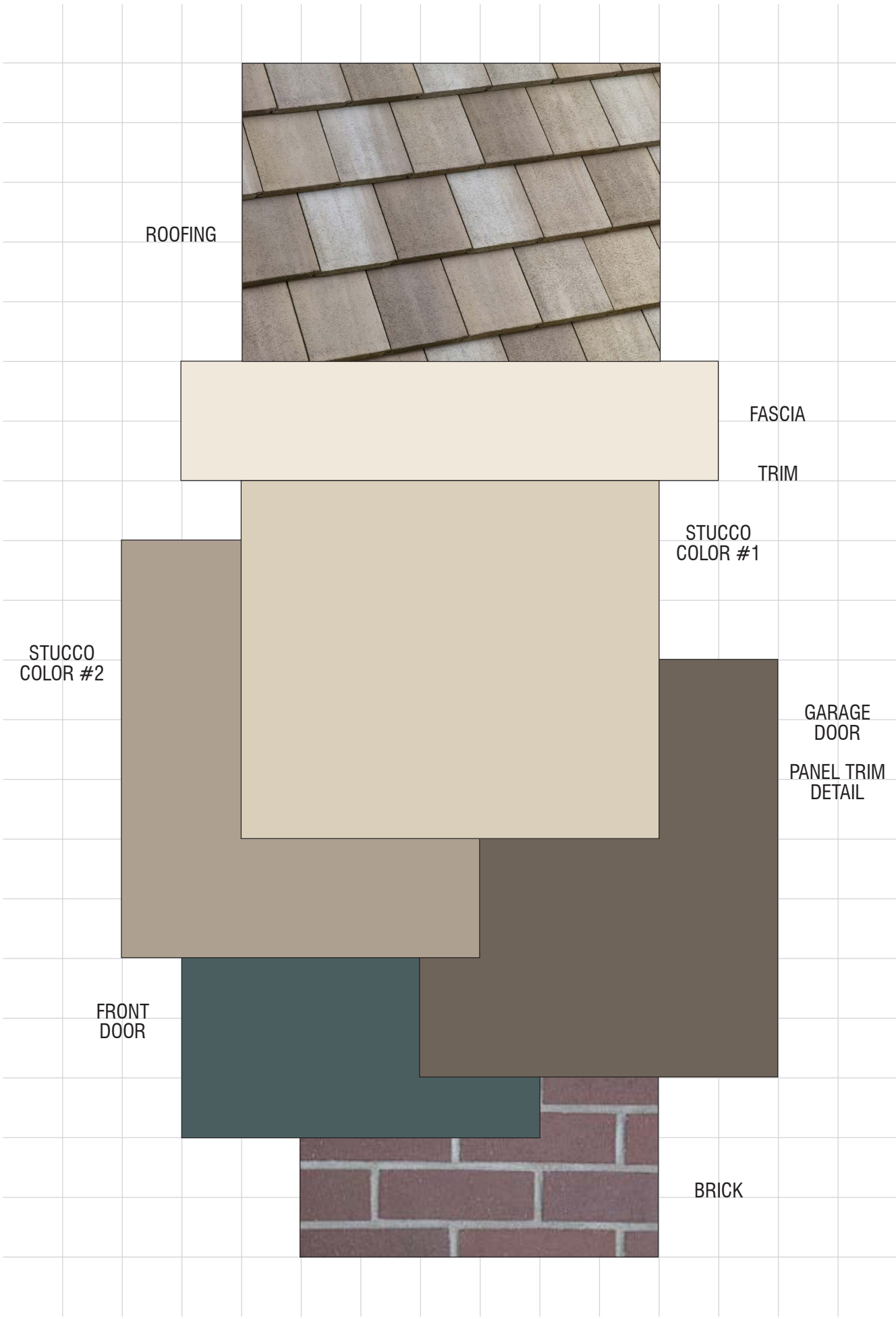
Preliminary Exterior Color & Materials

SCHEME 4 'B' ELEVATIONS ONLY, INDUSTRIAL

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4634 Kings Canyon Blend Ref. :13 Emit. :94 A.SRI: 16 CRRC: 0918-0044	Eagle
TPO Roofing <i>(factory finish)</i>	White	TBD
Vinyl Windows <i>(factory finish)</i>	White	TBD
Gutters & Downspouts <i>(factory finish)</i>	TBD	TBD
Manufactured Stone <i>(dry-stacked joints)</i>	Green Tea Craft Split Modular (50/50 blend of sizes)	Creative Mines
Stucco Color #1 <i>(16/20 sand finish)</i>	TBD (Match Sherwin Williams SW 7029 Agreeable Gray)	Omega
Stucco Color #2 <i>(16/20 sand finish)</i>	TBD (Match Sherwin Williams SW 9168 Elephant Ear)	Omega
Trim Color #1 <i>(applied to):</i> Front Door Garage Door Lap Siding Secondary Doors	SW 6201 Thunderous	Sherwin Williams
Trim Color #2 <i>(applied to):</i> Eaves Fascia Trim	SW 7008 Alabaster	Sherwin Williams
Metal Accent <i>(applied to):</i> Awning Railing	SW 7069 Iron Ore	Sherwin Williams
Garage Door Weatherstrip <i>(factory finish)</i>	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase.
Contact Jennifer Sandate (949) 250-0607.

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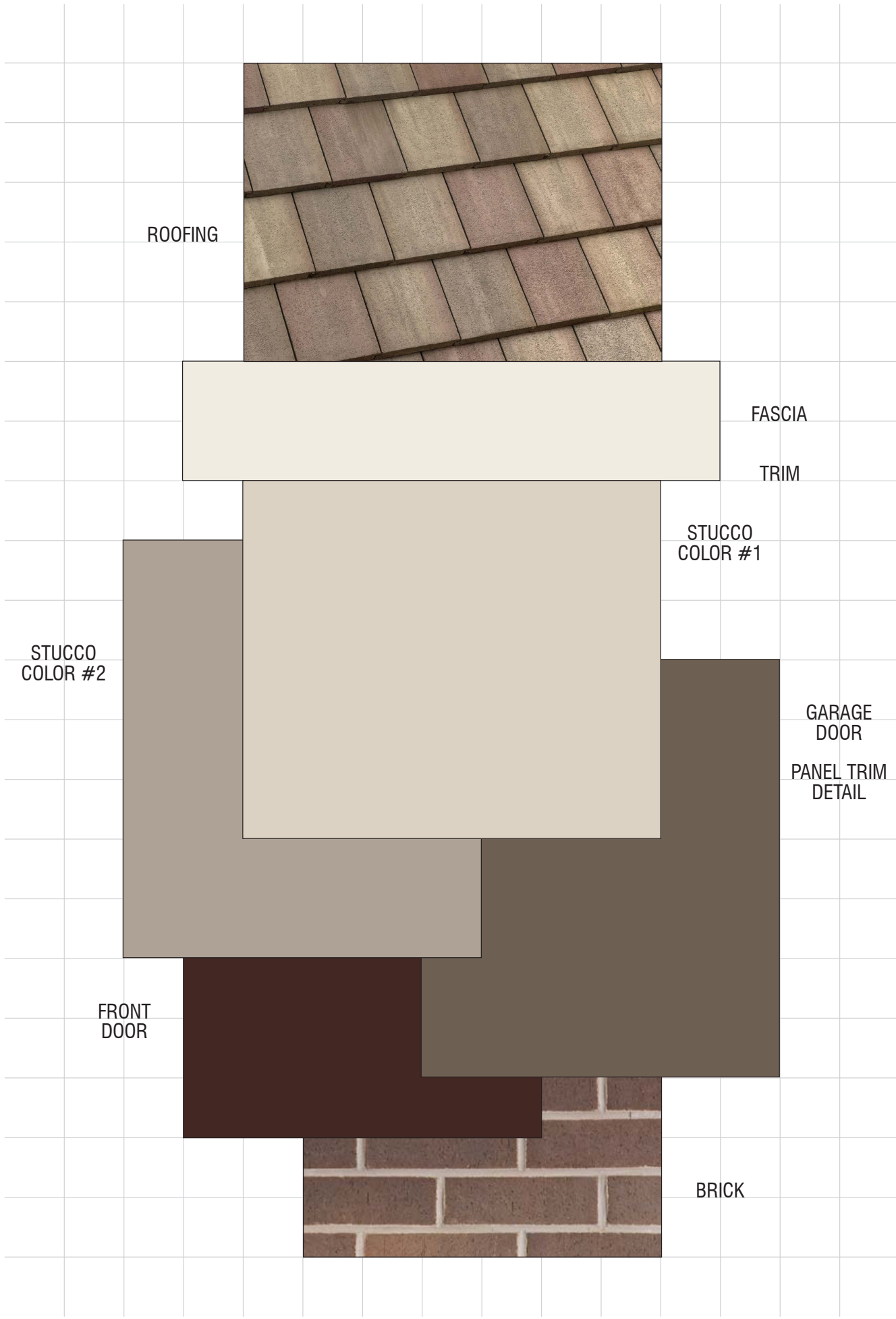
Preliminary Exterior Color & Materials

SCHEME 5 'C' ELEVATIONS ONLY, MAINSTREET

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4884 Alameda Range Ref. :16 Emit. :94 A.SRI: 18 CRRC: 0918-0095	Eagle
TPO Roofing <i>(factory finish)</i>	White	TBD
Vinyl Windows <i>(factory finish)</i>	White	TBD
Gutters & Downspouts <i>(factory finish)</i>	TBD	TBD
Brick <i>(standard raked joints)</i>	Burnt Rose (modular size)	H.C. Muddox
Grout @ Brick	TBD	Orco
Stucco Color #1 <i>(16/20 sand finish)</i>	TBD (Match Sherwin Williams SW 6148 Wool Skein)	Omega
Stucco Color #2 <i>(16/20 sand finish)</i>	TBD (Match Sherwin Williams SW 7633 Taupe Tone)	Omega
Trim Color #1 <i>(applied to):</i> Decorative Cornice Eaves Fascia Trim	SW 7012 Creamy	Sherwin Williams
Trim Color #2 <i>(applied to):</i> Garage Door Panel Trim Details	SW 7026 Griffin	Sherwin Williams
Accent Color <i>(applied to):</i> Front Door Secondary Doors	SW 6223 Still Water	Sherwin Williams
Metal Railing	SW 7048 Urbane Bronze	Sherwin Williams
Garage Door Weatherstrip <i>(factory finish)</i>	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase.
Contact Jennifer Sandate (949) 250-0607.

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Preliminary Exterior Color & Materials

SCHEME 6 'C' ELEVATIONS ONLY, MAINSTREET

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	SCB 8825 Corona Del Mar Blend Ref. :14 Emit. :90 A.SRI: 16 CRRC: 0918-0074	Eagle
TPO Roofing <i>(factory finish)</i>	White	TBD
Vinyl Windows <i>(factory finish)</i>	White	TBD
Gutters & Downspouts <i>(factory finish)</i>	TBD	TBD
Brick <i>(standard raked joints)</i>	Sierra Slate (modular size)	H.C. Muddox
Grout @ Brick	TBD	Orco
Stucco Color #1 <i>(16/20 sand finish)</i>	TBD (Match Sherwin Williams SW 7567 Natural Tan)	Omega
Stucco Color #2 <i>(16/20 sand finish)</i>	TBD (Match Sherwin Williams SW 7031 Mega Greige)	Omega
Trim Color #1 <i>(applied to):</i> Decorative Cornice Eaves Fascia Trim	SW 7551 Greek Villa	Sherwin Williams
Trim Color #2 <i>(applied to):</i> Garage Door Panel Trim Details	SW 7515 Homestead Brown	Sherwin Williams
Accent Color <i>(applied to):</i> Front Door Secondary Doors	SW 2838 Polished Mahogany	Sherwin Williams
Metal Railing	SW 7048 Urbane Bronze	Sherwin Williams
Garage Door Weatherstrip <i>(factory finish)</i>	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase.
Contact Jennifer Sandate (949) 250-0607.

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Industrial Scheme 4

Mainstreet Scheme 5

Mainstreet Scheme 6

CONCEPTUAL COLOR AND MATERIALS

THE PRESERVE - BLOCK 8

CHINO, CA