

TABLE LU-1 LAND USE DESIGNATION ACREAGES (CONTINUED)

Land Use	Acres in City Limits	Acres in SOI	Total Acres
Airport Related	170	–	170
Overlays			
Affordable Housing Overlay	114*	–	114*
Mixed Use Overlay	119*	–	119*
Total	16,680	1,395	18,075

Note: du/ac= dwelling units per acre.

*Overlay acreage not added to total.

For each land use designation, the uses allowed and the standards of density or intensity are specified. Densities and intensities in all cases are based on adjusted gross acres. The adjusted gross acreage of a lot excludes all land within the ultimate right-of-way for Expressways, Major Arterials, Primary Arterials, Secondary Arterials, and Collector streets, as shown in the Transportation Element. The number of residential units permitted for a parcel is determined by multiplying the residential density factor by the adjusted gross acres of the parcel. For non-residential uses, including commercial, office, and industrial uses, intensity is expressed as an average Floor Area Ratio (FAR). FAR is calculated as the total square footage of buildings on a site, divided by the total square footage underlying the site. The city-wide land use designations are described below, followed by the land use designations for the Specific Plans.

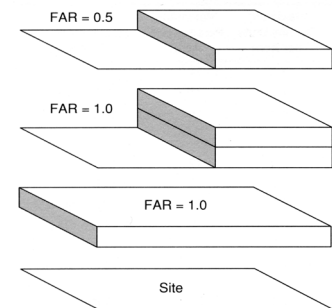
1. Residential Land Use Designations

The residential designations include seven distinct designations of varying density. They permit certain non-residential uses including places of worship, day care centers, schools, libraries, and recreational facilities.

a. RD1

This is a large-lot rural residential designation allowing 1 dwelling unit per adjusted gross acre (1.25 with provision of affordable housing). The purpose of this land use designation is to provide for very large lot residential development in a rural environment. These areas should be typified by rural uses, including horse-keeping and other small-scale agricultural uses consistent with residential areas.

Diagrammatic Examples of Floor Area Ratios



Source: Naphtali H. Knox & Associates, Inc.

e. RD12

This designation allows for a variety of residential land uses, from attached dwellings to townhouses. It allows 8 to 12 dwelling units per adjusted gross acre (15 with the provision of affordable housing). The purpose of this land use designation is to encourage a wide range of residential land uses.

f. RD14

This land use designation allows for a variety of residential uses, including attached dwelling units and town houses. It allows 12 to 14 dwelling units per adjusted acre (17.5 with the provision of affordable housing). The purpose of this land use designation is to allow slightly more dense multi-family development.

g. RD20

This high density residential development tends to be located near major commercial areas, neighborhood shopping centers, and freeway access. It allows 14 to 20 dwelling units per adjusted gross acre (25 with provision of affordable housing). The purpose of this land use designation is to provide for a relatively high density residential environment typified by four-plex developments and garden apartments.

2. Mixed-Use Designations

The city-wide mixed-use designations are only found in the SOI and on the Focused Growth Map. For areas with this designation on the Focused Growth Map, the mixed-use designation would only be applicable if projects are approved by city-wide vote consistent with the Focused Growth Plan. The Focused Growth Plan is discussed in Section E, below.

a. MU20

This designation allows buildings combining mixes of uses including commercial and residential. Typically located along major corridors, this designation is intended to provide housing and retail in close proximity. Typical uses will include housing over small-scale retail. Maximum allowed residential density is 20 dwelling units per adjusted acre and the FAR is 1.25.

b. MU30

This designation allows for higher density mixed-use developments and is reserved only for key central locations. There will be similar uses to the mixed-use medium

density designation, but additional residential density is allowed. Maximum residential density will be 30 dwelling units per gross acre and FAR is 1.5.

3. Commercial Land Use Designations

Four solely commercial designations are contained on the Land Use Map. The commercial designations are diverse and provide locations for an array of local- and regional-serving commercial establishments in Chino.

a. Regional Commercial

This designation is intended for the development of regional shopping centers and accompanying uses. Such uses include department stores, home furnishings and appliance stores, apparel stores, specialty retail stores, and restaurants. The FAR is 0.6.

b. General Commercial

This designation is to provide commercial uses for Chino residents' daily and occasional needs. It is applied only in existing major commercial areas. General commercial areas include a wide variety of commercial, office, and restaurant uses oriented to retail trade. There is a 2-acre minimum lot size. The FAR is 1.0.

c. Neighborhood Commercial

This designation is for shopping centers for daily shopping needs with a service radius of approximately 1 mile. Typical uses include supermarkets, drug stores and a variety of smaller shops. These neighborhood amenities should be provided throughout the City, generally on lots no greater than 5 acres. The FAR is 0.3.

d. Office Commercial

While office uses are allowed in all commercial designations, the office commercial designation applies to areas to be used predominantly for offices. The FAR is 1.0.

4. Industrial Land Use Designations

Chino has four categories of industrial land uses to plan for the large industrial economy in the City.

a. General Industrial

This designation is for heavy industrial or manufacturing uses, many of which may generate heavy traffic, noises, or odors. There is a 1-acre minimum lot size and generally only single-tenant uses are permitted. The FAR is 0.6.

9. Overlay Designations

a. Affordable Housing Overlay (AHO)

This designation is intended to promote the development of affordable housing for low, very low, and moderate income households in specific areas identified in Figure LU-2 where high density residential uses would not otherwise be allowed. The AHO is intended for standalone affordable and mixed income housing projects at densities of up to 30 dwelling units per acre.

b. Mixed Use Overlay (MUO)

This designation is intended to promote the development of affordable housing for low, very low, and moderate income households in specific areas identified in Figure LU-2 where high density residential uses would not otherwise be allowed. The MUO provides for mixed use development with affordable housing either on upper floors or in separate buildings at densities of up to 30 dwelling units per acre.

E. Measure M and the Focused Growth Plan

Measure M is a group of General Plan policies and a section of the City's Municipal Code that limits the expansion of multiple family housing developments by requiring a vote of the people prior to rezoning any parcel to allow for an increase in allowed residential density. This section provides general background on Measure M, and explains how some parcels might be developed with alternative uses under this General Plan after a Measure M vote.

1. Measure M Background

In 1988 the citizens of Chino adopted Measure M as part of the General Plan and municipal code. Its purpose is to limit the expansion of multiple family housing developments by preventing the rezoning of non-residential land to residential use. Measure M prevents the change of any land zoned non-residential to residential use and the rezoning of any land zoned residential for higher density residential use. Any such changes must be made through another ballot initiative. The ordinance applies to the zoning map as it was on November 8, 1988. The following text constitutes the General Plan policies enacted by the Measure M ordinance:

- ◆ Section 1: To insure the quality of the residential environment and the quality of life in the City of Chino, the People of the City of Chino hereby declare their intent to establish maximum densities for residential lands and to prevent the increase of land designated for residential uses within the City of Chino.