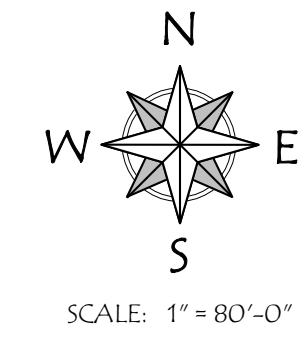
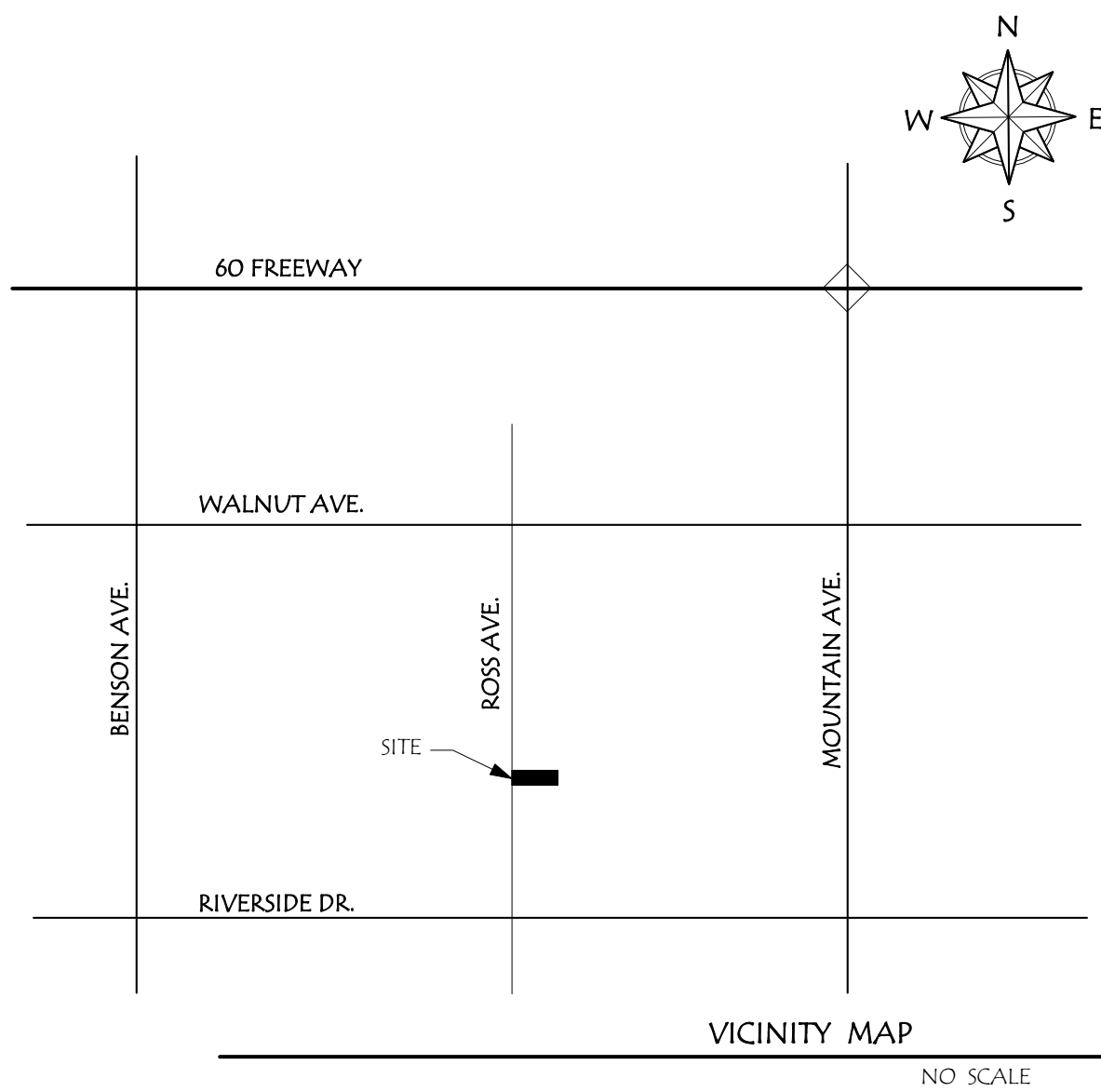


| | | | |
|--------------------------------------|---|--|--|
| | <div>ADDRESS SIGN, INTERNALLY ILLUMINATED, LOW VOLTAGE, PROVIDE TIMER. BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/8". (R319.1 CRC)</div> <div>NOTE: 1. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' (5%) WHERE LOT LINES, WALLS, SLOPE OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10' DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE [CRC R401.3] 2. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING [CRC R401.3 EXCEPTION1]</div> <div>NOTE: THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN A NECESSARY PERMIT FROM STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.</div> <div>NOTE 1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE CODES ORDINANCES AND REGULATIONS. 2. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. 3. MICHAEL D. CARPENTER SHALL BE INFORMED IN WRITTING OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.</div> <div>NOTE: THERE IS NOT TO BE ANY BODY OF WATER 18" OR DEEPER ON THE PROPERTY UNLESS ALL SWIMMING POOL SAFETY BARRIERS ARE COMPLIED WITH.</div> <div>THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED IN TO THE STREET, GUTTER OR STORM DRAIN SYSTEM.</div> <div>NOTE: THIS PROJECT SHALL COMPLY WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE, THE 2022 CALIFORNIA RESIDENTIAL CODE AND THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE</div> <div>NO GRADING IS PROPOSED FOR THIS PROJECT. EXCAVATIONS BELOW EXISTING FINISHED GRADE ARE FOR FOOTINGS FOR THE CONSTRUCTION OF A BUILDING ONLY AND WILL BE AUTHORIZED BY A BUILDING PERMIT.</div> | <div><p>VICINITY MAP NO SCALE</p></div> <div><p>EXISTING RESIDENCE</p></div> | <div><div>PROJECT DATA</div><div><div>PROJECT</div><div>TENBERGE RV GARAGE</div></div><div><div>JOB LOCATION</div><div>12795 ROSS AVE, CHINO, CA. 91710</div></div><div><div>OWNER</div><div>GREGORY AND KIMBERLY TENBERGE 12795 ROSS AVE, CHINO, CA. 91710</div></div><div><div>LEGAL DESCRIPTION</div><div>LOT TRACT A.P.N. 70 3150 1015-531-29-0000</div></div><div><div>PROJECT DATA</div><div><div>ZONE</div><div>RD-2</div></div><div><div>OCCUPANCY</div><div>R-3, U1</div></div><div><div>TYPE OF CONSTRUCTION</div><div>VB</div></div><div><div>FIRE SPRINKLERS</div><div>EXISTING STRUCTURE - NO, PROPOSED RV GARAGE - NO</div></div></div><div><div>SITE DATA</div><div><div>EXISTING</div><div>LOT SIZE BUILDING SIZE, LIVABLE BUILDING SIZE, FOOTPRINT LOT COVERAGE YEAR BUILT BED ROOMS BATH ROOMS NUMBER OF STORIES BUILDING HEIGHT PARKING</div><div>23,700 S.F. (0.54 ACRE) 1,152 S.F. 1,908 S.F. LIVABLE + GARAGE 8.05 % 1955 5 2 ONE 16' TWO CAR GARAGE</div></div></div><div><div>PROPOSED</div><div><div>LOT SIZE</div><div>BUILDING SIZE, FOOTPRINT LOT COVERAGE NUMBER OF STORIES BUILDING HEIGHT PARKING</div><div>23,700 S.F. (0.54 ACRE) 3,508 S.F. LIVABLE + GARAGE + RV GARAGE 14.80 % ONE 16' E. RESIDENCE, 20' PROPOSED RV GARAGE TWO CAR GARAGE + TWO BAY RV GARAGE</div></div></div><div><div>AREA TABULATION</div><div><div>EXISTING</div><div>LIVABLE GARAGE PROPOSED: RV GARAGE</div><div>1,152 S.F. 776 S.F. 1,600 S.F.</div></div></div><div><div>JURISDICTION</div><div>CITY OF CHINO</div></div><div><div>GOVERNING CODES</div><div><div>BUILDING BUILDING ELECTRICAL PLUMBING MECHANICAL ACCESSABILITY ENERGY BUILDING FIRE BUILDING ORDINANCES</div><div>C.B.C. C.R.C. C.E.C. C.P.C. C.M.C. C.B.C. C.B.C. C.B.C. C.B.C. C.B.C.</div><div>2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRIC CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA EXISTING BUILDING CODE ALL APPLICABLE CITY, COUNTY AND STATE.</div></div></div></div> <div><div>DRAWINGS ISSUED FOR:</div><div>5-27-25 SCUP SUBMITTAL NO. 2</div></div> <div></div> <div>MICHAEL D. CARPENTER</div> <div>CARPENTER DESIGNS</div> <div>BUILDING DESIGN SERVICES</div> <div>3298 N. GLASSFORD HILL RD. STE 104-152 PRESCOTT VALLEY, AZ. 86314</div> <div>(909) 724-9572</div> <div>CARPENTERDESIGNS@AOL.COM</div> |
| <div><p>PROPOSED RV GARAGE</p></div> | | <div>SCOPE OF WORK:</div> <div>1. PROPOSED DETACHED RV GARAGE + 1,600 SQUARE FEET 2. CONCRETE AND CONCRETE PAVES DRIVEWAY TO RV GARAGE DOORS 3. 6" HIGH CMU WALL, 244 L.F.</div> <div>SHEET INDEX</div> <div><div>C 1 C 2 C 3 A 1 A 3 A 4 A 5 A 6</div><div>COVER SHEET SITE UTILIZATION PLAN SITE PLAN FLOOR PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS COLORED ROOF PLAN CROSS SECTIONS</div></div> <div>NOTE: THIS PROJECT SHALL COMPLY WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE, THE 2022 CALIFORNIA RESIDENTIAL CODE AND THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE</div> | |
| | | <div>PROJECT:</div> <div>TENBERGE RV GARAGE</div> <div>12795 ROSS AVE. CHINO, CA. 91710</div> <div>SHEET DESCRIPTION:</div> <div>SITE PLAN</div> <div>SCALE: AS NOTED</div> <div>SHEET NUMBER:</div> <div>C 1</div> | |



DRAWINGS ISSUED FOR:

Michael D. Carpenter
MICHAEL D. CARPENTER

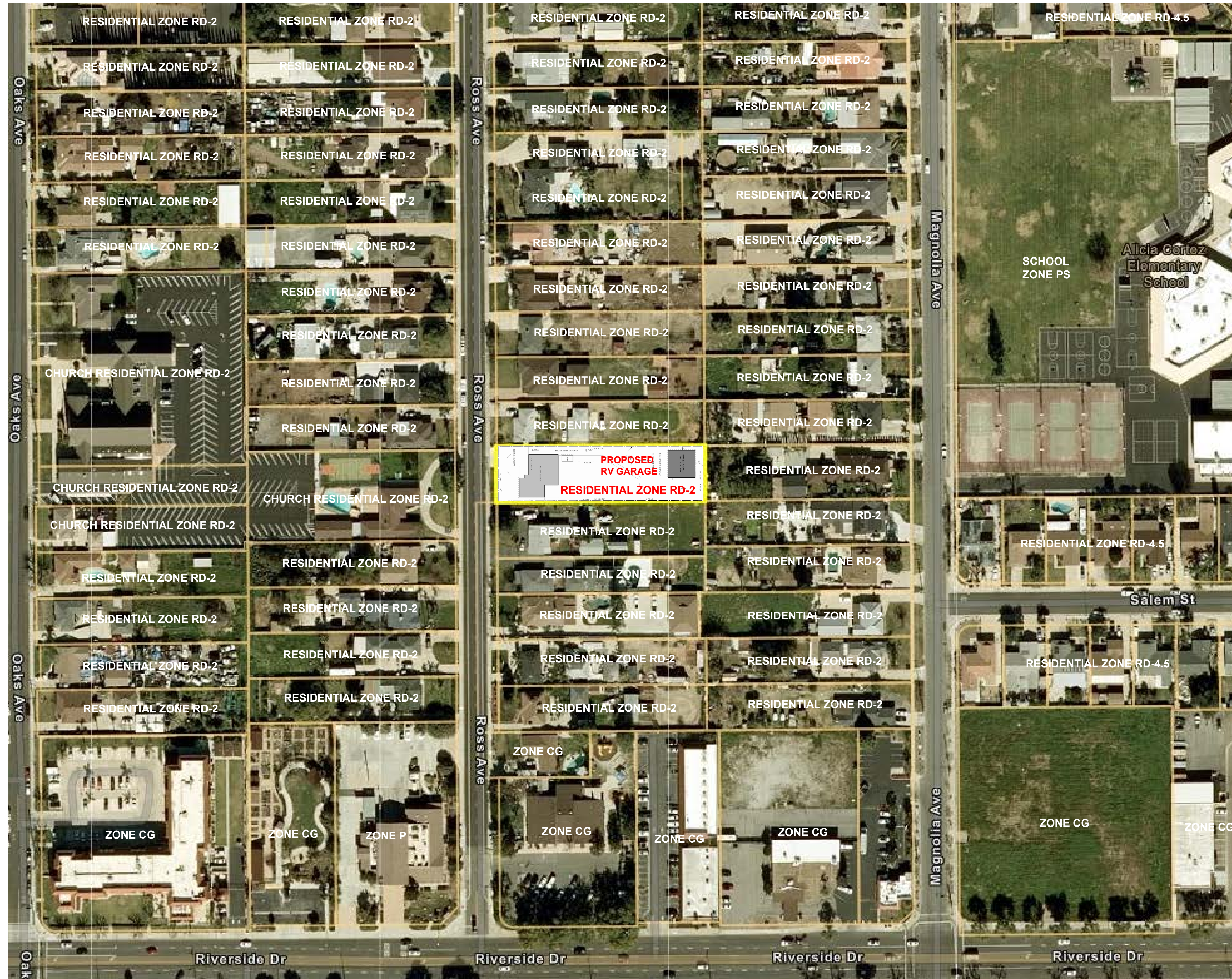
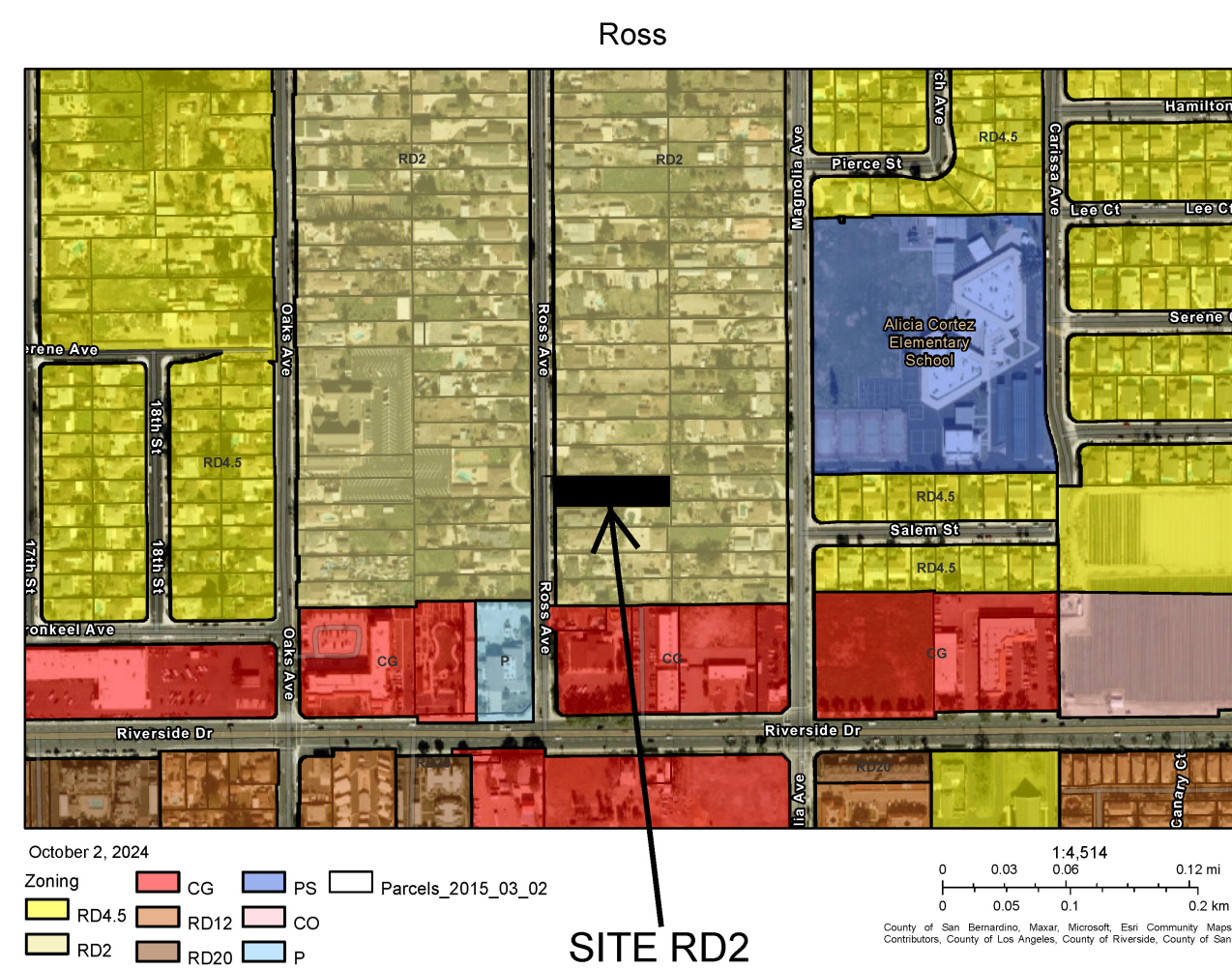


BUILDING DESIGN SERVICES

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PROJECT:

TENBERGE RV GARAGE

12795 ROSS AVE.
CHINO, CA. 91710

SHEET DESCRIPTION:

SITE UTILIZATION PLAN

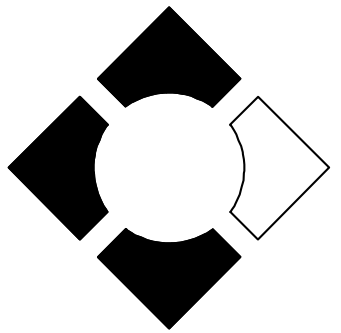
SCALE: AS NOTED

SHEET NUMBER:

Michael D. Carpenter

MICHAEL D. CARPENTER

CARPENTER



DESIGNS

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PROJECT:

TENBERGE RV GARAGE

12795 ROSS AVE.
CHINO, CA. 91710

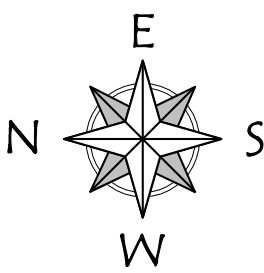
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SITE PLAN

SCALE: AS NOTED

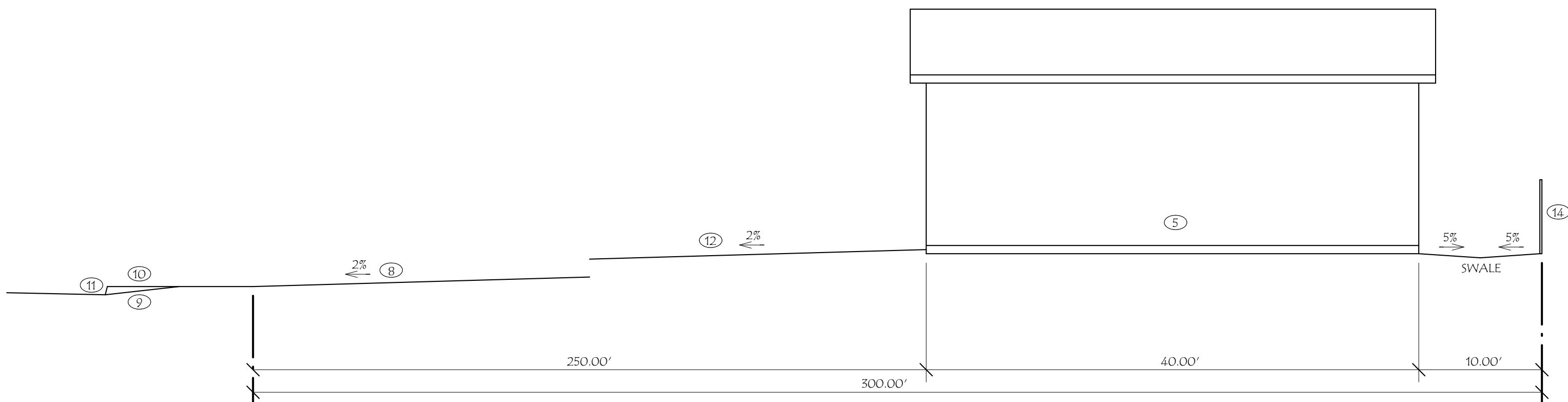
SHEET NUMBER:

C 3



SCALE: 1" = 20'-0"

GRAPHIC SCALE 1" = 20'-0"



SITE - CROSS SECTION "B"
SCALE: 1/8" = 1'-0"

NOTE:

1. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' (5%) WHERE LOT LINES, WALLS, SLOPE OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10'. DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE (CRC R401.3)
2. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING (CRC R401.3 EXCEPTION)

NOTE:

THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN A NECESSARY PERMIT FROM STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.

NOTE:

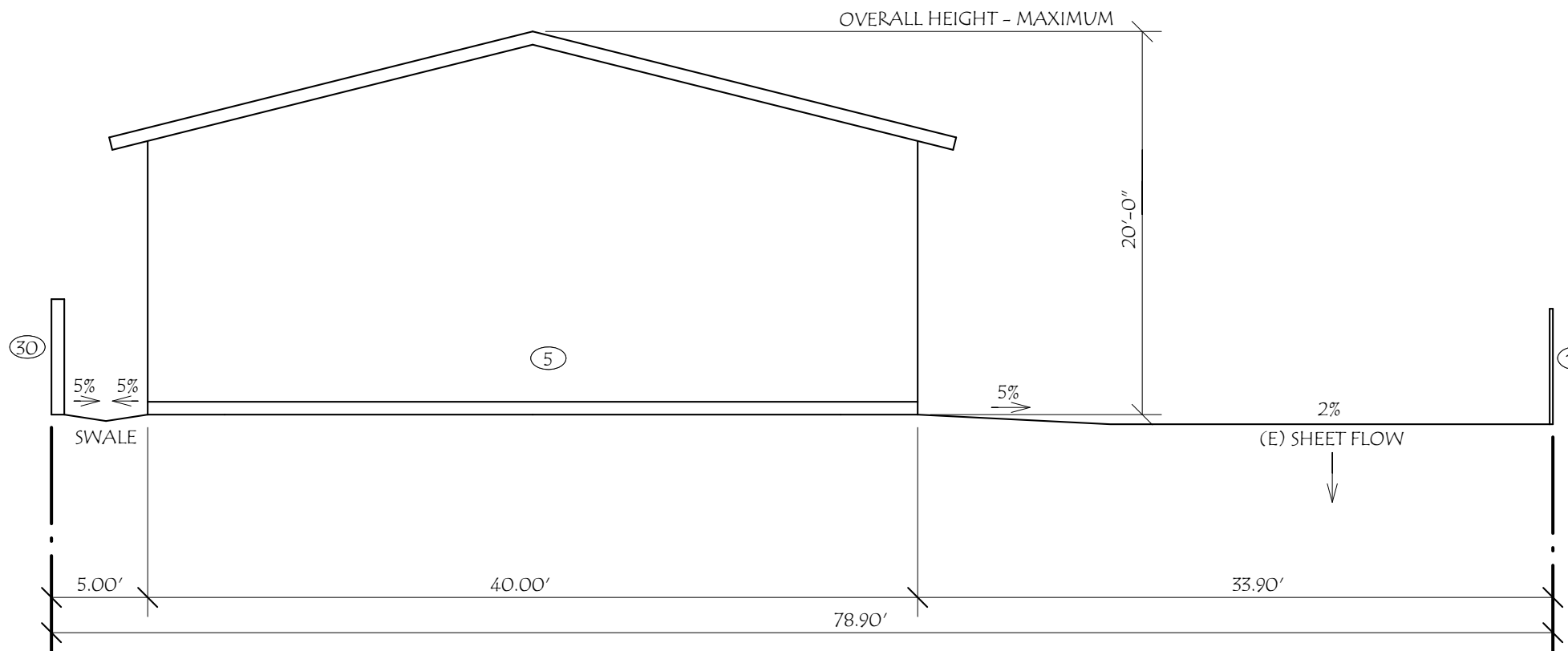
THERE IS NOT TO BE ANY BODY OF WATER 18" OR DEEPER ON THE PROPERTY UNLESS ALL SWIMMING POOL SAFETY BARRIERS ARE COMPLIED WITH.

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED IN TO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

NO GRADING IS PROPOSED FOR THIS PROJECT. EXCAVATIONS BELOW EXISTING FINISHED GRADE ARE FOR FOOTINGS FOR THE CONSTRUCTION OF A BUILDING ONLY AND WILL BE AUTHORIZED BY A BUILDING PERMIT.

NOTE:

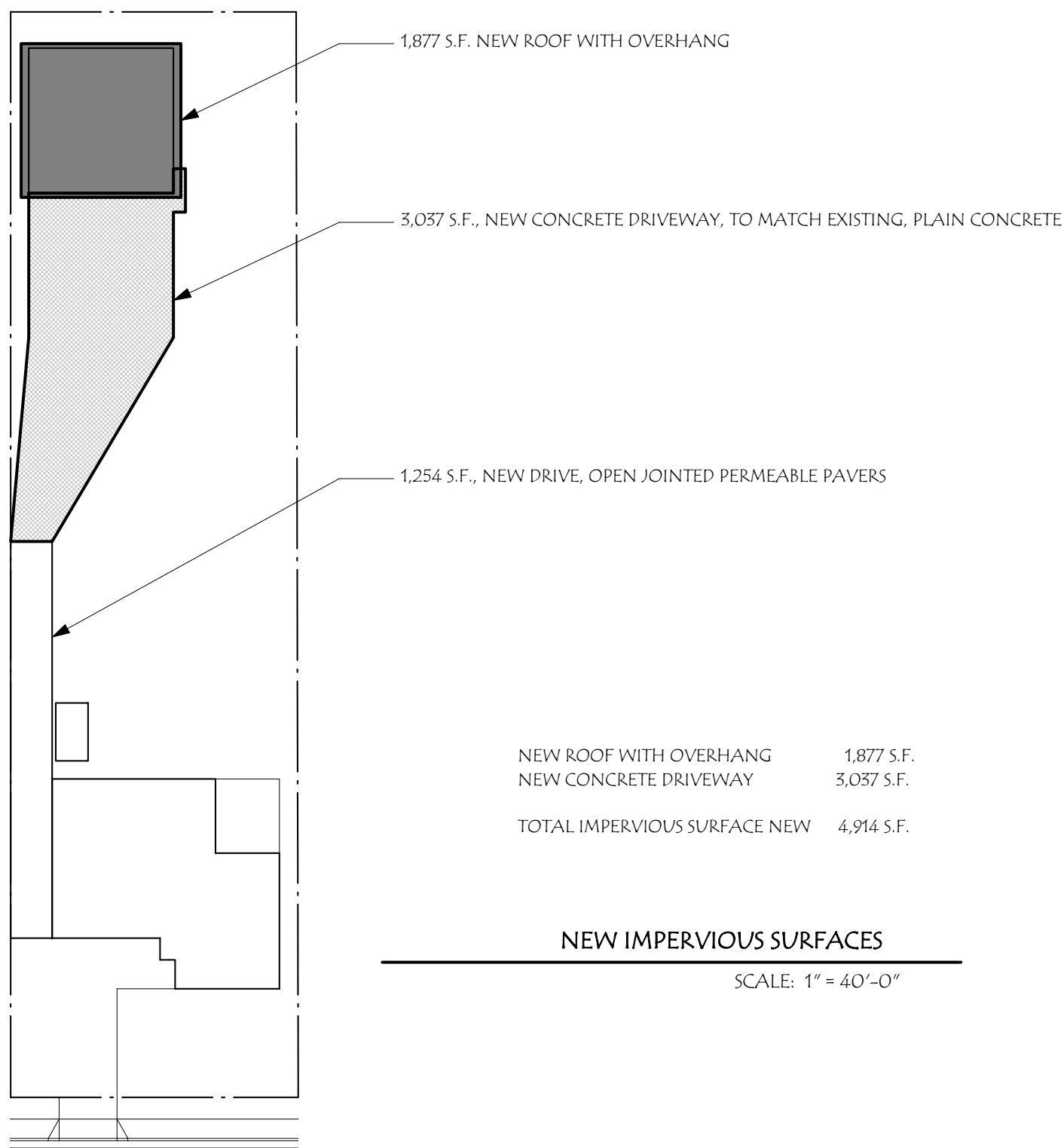
THIS PROJECT SHALL COMPLY WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE, THE 2022 CALIFORNIA RESIDENTIAL CODE AND THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE



SITE - CROSS SECTION "A"
SCALE: 1/8" = 1'-0"

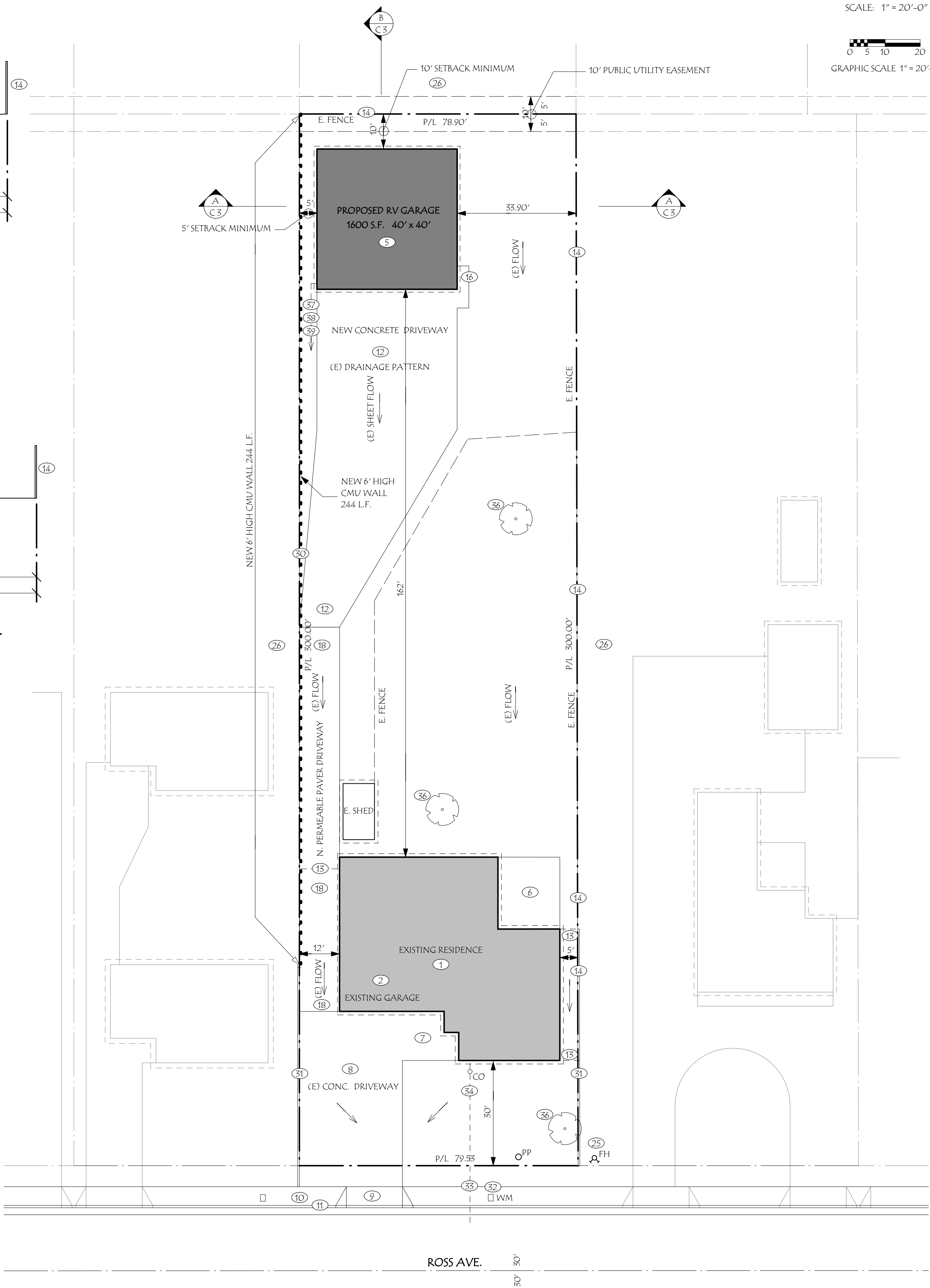
1 SITE PLAN KEY NOTES

1. EXISTING ONE STORY SINGLE FAMILY RESIDENCE
2. EXISTING TWO CAR GARAGE
3. NOT USED
4. NOT USED
5. PROPOSED RV GARAGE
6. EXISTING CONCRETE PAVING
7. EXISTING CONCRETE WALK
8. EXISTING CONCRETE DRIVEWAY
9. EXISTING CONCRETE APPROACH
10. EXISTING CONCRETE SIDEWALK
11. EXISTING CONCRETE CURB AND GUTTER
12. NEW CONCRETE DRIVEWAY, TO MATCH EXISTING, PLAIN CONCRETE
13. EXISTING GATE TO REMAIN
14. EXISTING FENCE TO REMAIN
15. EXISTING A/C
16. NEW CONCRETE STOOP
17. NOT USED
18. NEW DRIVE, OPEN JOINTED PERMEABLE PAVERS
19. NOT USED
20. EXISTING MAIL BOX TO REMAIN
21. NOT USED
22. EXISTING ELECTRICAL METER AND MAIN PANEL TO REMAIN
23. EXISTING GAS METER TO REMAIN
24. EXISTING UTILITY BOX AT GRADE
25. EXISTING FIRE HYDRANT
26. ADJACENT PROPERTY, NOT A PART
28. EXISTING STREET LIGHT
29. NOT USED
30. NEW 6' HIGH CMU WALL
31. EXISTING CMU WALL
32. EXISTING WATER METER TO REMAIN, PROTECT IN PLACE NO CHANGE PROPOSED.
33. EXISTING SEWER LATERAL
34. EXISTING WASTE PIPE
35. NOT USED
36. EXISTING TREE TO REMAIN.
37. NEW CONDUIT (ELECTRIC) TO E. MAIN PANEL, 3" SCH. 40, UNDERGROUND 24" MIN. COVER.
38. NEW CONDUIT (PHONE) TO EXISTING PANEL, 1 1/2" SCH. 40, UNDERGROUND 18" MIN. COVER.
39. NEW 1 1/4" DOMESTIC WATER PIPE TO EXISTING WATER, 18" MIN. COVER
40. NOT USED
41. NOT USED
42. NOT USED
43. EXISTING CMU
44. NOT USED



NEW IMPERVIOUS SURFACES

SCALE: 1" = 40'-0"



PROJECT: TENBERGE RV GARAGE
JOB LOCATION: 12795 ROSS AVE, CHINO, CA. 91710
OWNER: GREGORY AND KIMBERLY TENBERGE
12795 ROSS AVE, CHINO, CA. 91710

LEGAL DESCRIPTION:
LOT: 70
TRACT: 3150
A.P.N.: 1015-531-29-0000

SITE PLAN

SCALE: 1" = 20'-0"

WINDOW AND DOOR NOTES:

EGRESS WINDOWS
PROVIDE EMERGENCY ESCAPE FROM NEW BED ROOMS AND BASEMENTS.
THE ESCAPE OPENING SHALL HAVE A MINIMUM NET CLEAR OPENING
OF 5.7 SQUARE FEET WITH 24" MIN. NET CLEAR HEIGHT AND 20" MIN.
NET CLEAR WIDTH. ESCAPE WINDOW SHALL HAVE A FINISHED SILL
HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.

GLAZING NOTE:
* NEW WINDOWS AND FRENCH DOORS TO BE DUAL GLAZE LOW "E"
UNLESS NOTED OTHERWISE.

* THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE
DETERMINED IN ACCORDANCE WITH ASTM E 1300.

* ANY INDIVIDUAL PANE OF GLASS OVER 9 SQUARE FEET, WITHIN 18" OF THE
FLOOR, TOP EDGE OF GLASS IS 36" ABOVE FLOOR AND WALKING SURFACE IS
WITHIN 36" SHALL BE FULLY TEMPERED.

* ANY GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 24" OF THE STIKE
EDGE OF ANY DOOR SHALL BE FULLY TEMPERED.

* EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS
SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED, ETC.)
BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER
AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES.

* ALL NEW GLAZING SHALL BE INSTALLED WITH LABELS TO REMAIN IN PLACE
FOR INSPECTION.

FLOOR PLAN GENERAL NOTES

1. THE CONTROL VALVES IN SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR
THERMOSTATIC MIXING VALVES.
2. BATHTUB AND SHOWER FLOORS AND WALLS TO HAVE WATER RESISTANT - NON ABSORBENT
FINISH TO 72" ABOVE SHOWER FLOOR. IF ENCLOSURES ARE PROVIDED, THEY SHALL BE SHATTER
PROOF (TEMPERED GLASS) CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS
MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL
TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.
3. PROVIDE EMERGENCY ESCAPE FROM BED ROOMS. THE ESCAPE OPENING SHALL HAVE A
MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET WITH 24" MIN. NET CLEAR HEIGHT AND
20" MIN. NET CLEAR WIDTH. ESCAPE WINDOW SHALL HAVE A FINISHED SILL HEIGHT NOT
MORE THAN 44" ABOVE THE FLOOR.
4. TANKLESS WATER HEATERS SHALL BE NATIONALLY LISTED AND BE INSTALLED
IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED
AS PART OF THEIR LISTING. V.O.A. THRU ROOF, THE GAS PIPING SERVING THE
APPLIANCE MUST BE SIZED IN ACCORDANCE WITH THE WATER HEATERS LISTED
INSTALLATION INSTRUCTIONS AND THE 2019 CPC.
5. THE MAXIMUM SLOPE OF ANY LANDING SHALL NOT EXCEED 1/4 INCH PER FOOT. (R311.3 CRC)
6. A FLOOR OR LANDING IS REQUIRED ON EACH SIDE OF EVERY EXTERIOR DOOR IN ACCORDANCE
WITH CRC SECTION R311.3. THE LANDING SHALL HAVE A WIDTH NOT LESS THAN
THE WIDTH OF THE DOOR AND BE A MINIMUM OF 36" IN LENGTH. THE LANDING AT REQUIRED
OUT-SWINGING DOOR SHALL NOT BE MORE THAN 1 1/2' LOWER THAN THE TOP OF THE
THRESHOLD.
7. THE LANDING AT IN-SWINGING DOORS AND DOORS OTHER THAN THE REQUIRED EGRESS SHALL
NOT BE MORE THAN 7 1/4' BELOW THE TOP OF THE THRESHOLD.

FRAMING NOTES:

1. FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH CRC SECTION R302.11
AT THE FOLLOWING LOCATIONS:
A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED
SPACES, AT THE CEILING AND FLOOR LEVELS.
B. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED
SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
C. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL
SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
D. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR
OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS,
WITH MATERIALS TESTED FOR THE FORM AND MANNER THEY ARE INTENDED.
2. WHERE TOP OR SOLE PLATE ARE CUT FOR PIPES, A METAL TIE MINIMUM 0.058
INCHES THICK AND 1 1/2" WIDE SHALL BE FASTENED ACROSS THE OPENING WITH
(6) 16D NAILS MINIMUM EACH SIDE.
3. FIELD CUTTING ENDS, NOTCHES AND DRILLED HOLES IN PRESERVATIVE-TREATED
WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWP A M4.
4. NEW FRAMING LUMBER SHALL HAVE 19% MAXIMUM MOISTURE AT TIME OF
INSTALLATION AND FABRICATION.

WALL LEGEND

NEW WALL, 2"x 6" STUDS AT 16" O.C.



NEW WALL, 2"x 8" STUDS AT 16" O.C.



FINISH NOTE: WALL AND CEILING FINISH MATERIALS SHALL HAVE A FLAME SPREAD
CLASSIFICATION OF NOT GREATER THAN 200, AND A SMOKE DEVELOPED
INDEX OF NOT GREATER THAN 450. CRC SECTION R502.9

RESIDENTIAL GREEN BUILDING STANDARDS

EXISTING "NONCOMPLIANT" FIXTURES (TOILETS THAT USE MORE THAN 1.6 GALLONS
OF WATER PER FLUSH, URINALS THAT USE MORE THAN ONE GALLON OF WATER PER
FLUSH, SHOWERHEADS THAT HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS
OF WATER PER MINUTE, AND INTERIOR FAUCETS THAT EMIT MORE THAN 2.2 GALLONS
OF WATER PER MINUTE) SHALL BE REPLACED. CERTIFICATION OF COMPLIANCE SHALL
BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO FINAL PERMIT APPROVAL.

RESIDENTIAL GREEN BUILDING STANDARDS

EFFECTIVE JAN. 1, 2017 RESIDENTIAL BUILDINGS UNDERGOING ADDITIONS, ALTERATIONN
OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANCE PLUMBING FIXTURES WITH WATER
CONSERVING PLUMBING FIXTURES PRIOR TO FINAL INSPECTION. THE REQUIREMENTS SHALL
APPLY TO NEW FIXTURE IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING
(PER 2019 CAL GREEN SECTIONS 501.1.1, 4.303.1.1 - 4.303.1.4.4 & 2019 CPC SECTIONS 403.0 - 403.8

INTERIOR WALL AND CEILING COVERING

INTERIOR WALLS AND CEILINGS SHALL BE COVERED WITH
ONE LAYER GYPSUM WALL BOARD, NAILED DIRECTLY TO STUDS AND JOISTS, WITH ALL SEAMS
TAPED AND FILLED FLUSH WITH APPROVED JOINT COMPOUND IN ACCORDANCE WITH THE
MANUFACTURER'S SPECIFICATIONS. ALL NAILHEADS SHALL BE DIMPLED AND SPACKELED FLUSH
WITH COMPOUND.

DRYWALL NAILING SHALL BE PER 2019 CALIFORNIA BUILDING CODE SHALL BE
INSPECTED PRIOR TO TAPING AND SPACKELING.

NAIL 5/8" GYP. BOARD WITH 6d COODLER NAILS, & 1/2" GYP. BOARD WITH 5d COOLER NAILS @
MINIMUM 7" OC EDGES AND FIELD. (2019 CALIFORNIA BUILDING CODE).

ALL EXPOSED GYP. BOARD SHALL HAVE METAL EDGES.

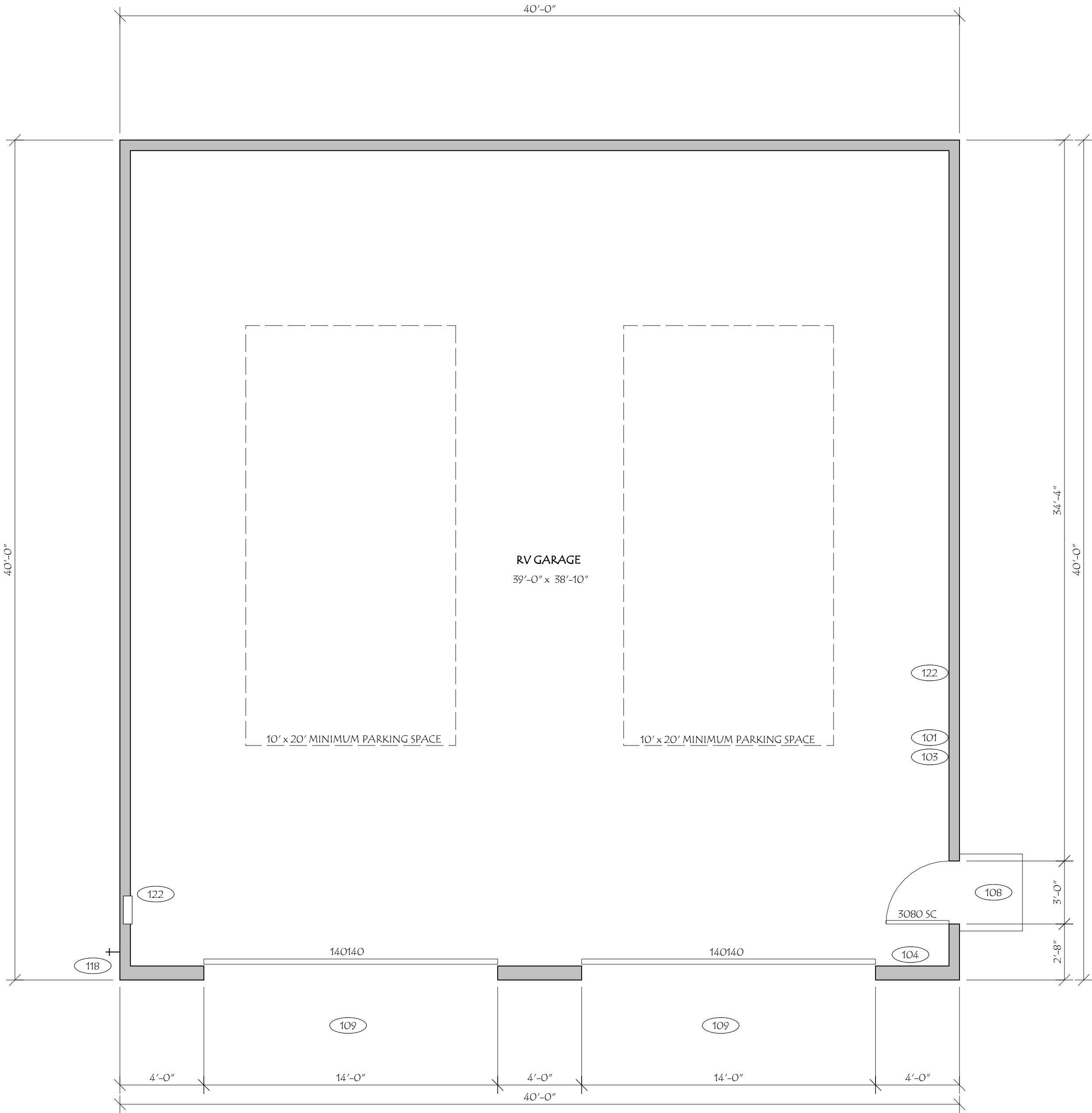
ALL GYP. BOARD AND CORNERREAD NAILING TO BE INSPECTED AND APPROVED PRIOR TO TAPING.

TUB AND SHOWER WALLS, CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT
GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB
AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS IN ACCORDANCE WITH
CRC SECTION R702.4.2 CRC.

100

FLOOR PLAN KEY NOTES

101. UN-FINISHED GARAGE, WALLS AND CEILING OPEN TO THE FRAMING.
102. NOT USED
103. 2"x 6" STUDS AT 16" O.C. EXTERIOR.
104. 2"x 8" STUDS AT 16" O.C. EXTERIOR.
105. NOT USED
106. NOT USED
107. NOT USED
108. CONCRETE STOOP, MINIMUM 36" x WIDTH OF DOOR
109. CONCRETE DRIVEWAY TO MATCH EXISTING
110. NOT USED
111. NOT USED
112. NOT USED
113. NOT USED
115. NOT USED
116. NOT USED
117. NOT USED
118. HOSE NBB, 3/4"
119. NOT USED
120. NOT USED
121. NOT USED
122. SUB PANEL, SEE SHEET E1
123. NOT USED
124. NOT USED

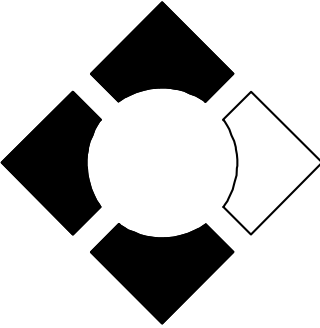


DRAWINGS ISSUED FOR:

Michael D. Carpenter

MICHAEL D. CARPENTER

CARPENTER



D E S I G N S

BUILDING DESIGN SERVICES

3298 N. GLASSFORD HILL RD.
STE 104-152
PRESCOTT VALLEY, AZ. 86314

(909) 724-9572

CARPENTERDESIGNS@AOL.COM

PROJECT:

TENBERGE RV GARAGE

12795 ROSS AVE.
CHINO, CA. 91710

SHEET DESCRIPTION:

FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A 1

200 EXTERIOR ELEVATION KEY NOTES

201. NOT USED
202. ROOFING TO BE COMPOSITION SHINGLES (CLASS "A") MATCH EXISTING COLOR OVER 30# FELT UNDERLAYMENT, GAF, TIBERLINE, ICC ESR - 1475
203. NOT USED
204. NEW EXTERIOR WALL FINISH TO BE PLASTER, LIGHT TEXTURE TO MATCH EXISTING. 7/8" PLASTER OVER GRADE "D" MOISTURE BARRIER TWO LAYERS OVER SHEAR PANEL
205. 8" HORIZONTAL T&G SIDING TO MATCH EXISTING RESIDENCE.
206. NEW 3 1/2" 26 GA. G.I. WEEP SCREED, MIN. 4" ABOVE EARTH OR 2" ABOVE PAVING
207. MANUFACTURED STONE VENEER TO MATCH EXISTING RESIDENCE.
208. NEW CONCRETE PAVING TO MATCH EXISTING
209. NOT USED
210. CONCRETE STOOP, MINIMUM 36" x WIDTH OF DOOR
211. NOT USED
212. NOT USED
213. NOT USED
214. NEW FASCIA, 2x8" R.S. SPRUCE, PAINT FINISH, MATCH EXISTING
215. NEW BARGE, 2x8" R.S. SPRUCE, PAINT FINISH, MATCH EXISTING
216. EAVE SOFFIT TO BE 7/8" PLASTER.
217. 2x6" PLASTER OVER FOAM TRIM
218. 2x4" PLASTER OVER FOAM TRIM
219. 4x2" PLASTER OVER FOAM TRIM
220. 24" DIAMETER DECORATIVE G.I. GABLE END VENT.
221. NOT USED
222. NEW DOOR PER PLAN

- NOTE:
1. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' (5%) WHERE LOT LINES, WALLS, SLOPE OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL. WITHIN 10' DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE [CRC R401.3]
2. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING [CRC R401.3 EXCEPTION]

ADDRESS SIGN:

ADDRESS SIGN SHALL BE INTERNALLY ILLUMINATED, LOW VOLTAGE, PROVIDE TIMER.

CRC R319.1: BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2"

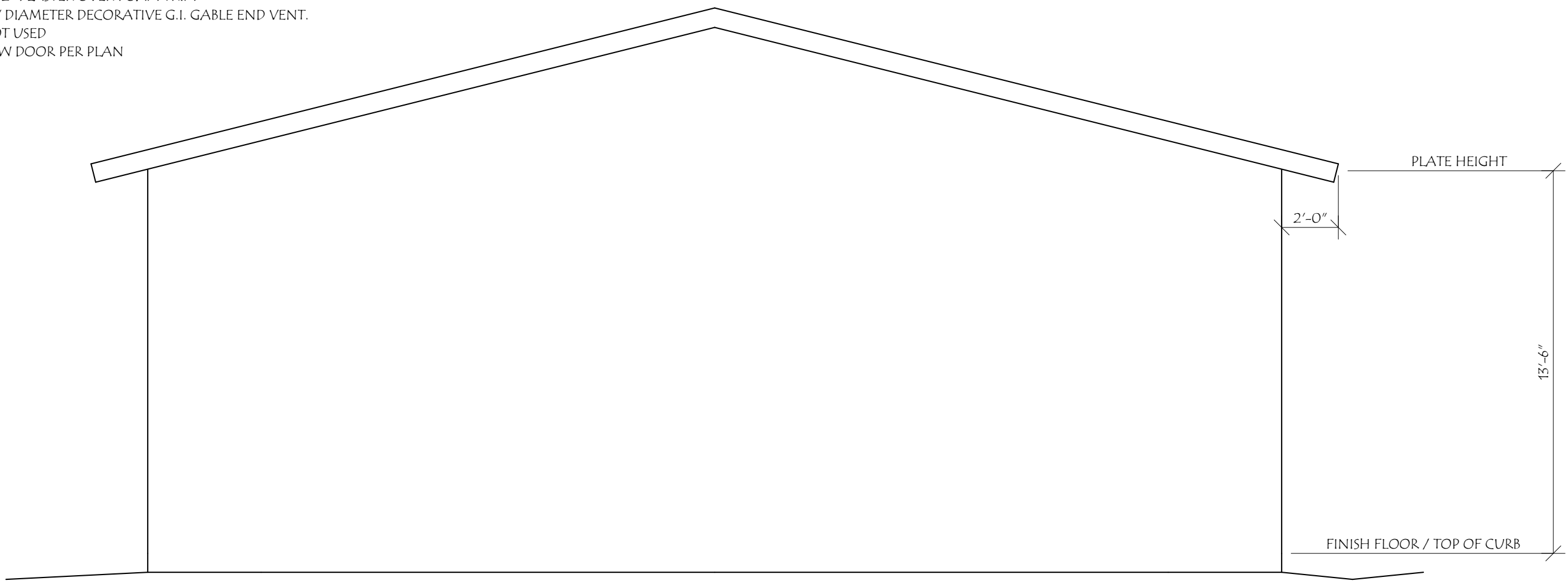
EXTERIOR FINISH SCHEDULE

| | |
|---------------|--|
| ROOFING: | ROOFING TO BE COMPOSITION SHINGLES, COLOR TO MATCH EXISTING GAF, TIBERLINE, BARKWOOD, ICC ESR - 1475 |
| PLASTER: | OMEGA PRODUCTS, SUPER CEMENT 3 COAT, 30/30 LIGHT LACE TEXTURE TO MATCH EXISTING COLOR - #250 BONE, BASE #2, COLOR TO MATCH EXISTING |
| FACIA: | PAINT, WHITE, SWISS COFFEE NO. DE341, COLOR TO MATCH EXISTING |
| EAVE SOFFIT: | PAINT, WHITE, SWISS COFFEE NO. DE341, COLOR TO MATCH EXISTING |
| STONE VENEER: | ELDORADO STONE, VENEER, MOUNTAIN LEDGE, BITTERROOT COLOR TO MATCH EXISTING |
| GARAGE DOOR: | AMARR, "LINCOLN LP", WHITE, MATCH EXISTING. |

EXTERIOR FINISH NOTE:

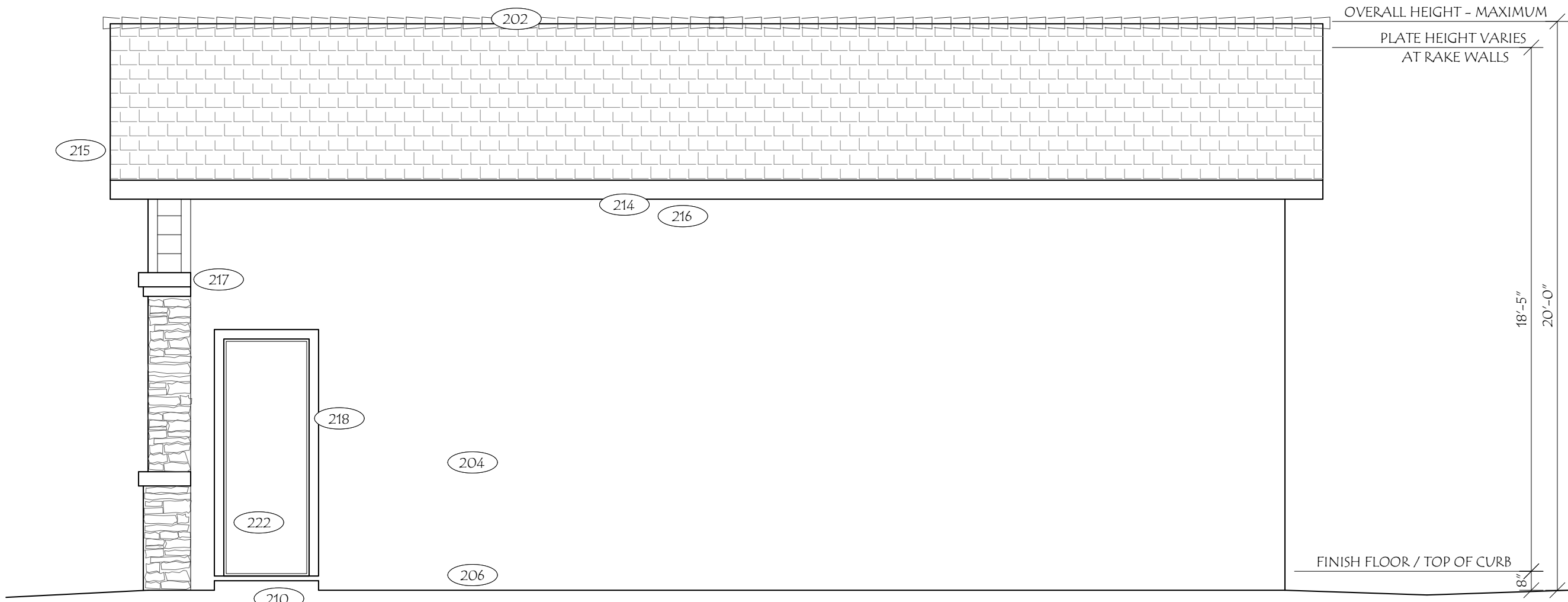
ALL NEW EXTERIOR FINISHES, MATERIALS, TEXTURE AND COLORS TO MATCH EXISTING RESIDENCE

ALL EXTERIOR MATERIALS, TEXTURE AND COLOR TO MATCH THRU OUT INCLUDING BUT NOT LIMITED TO - ROOFING, PLASTER WALL FINISH, WOOD OVERHANGS, AND PAINT FINISHES.



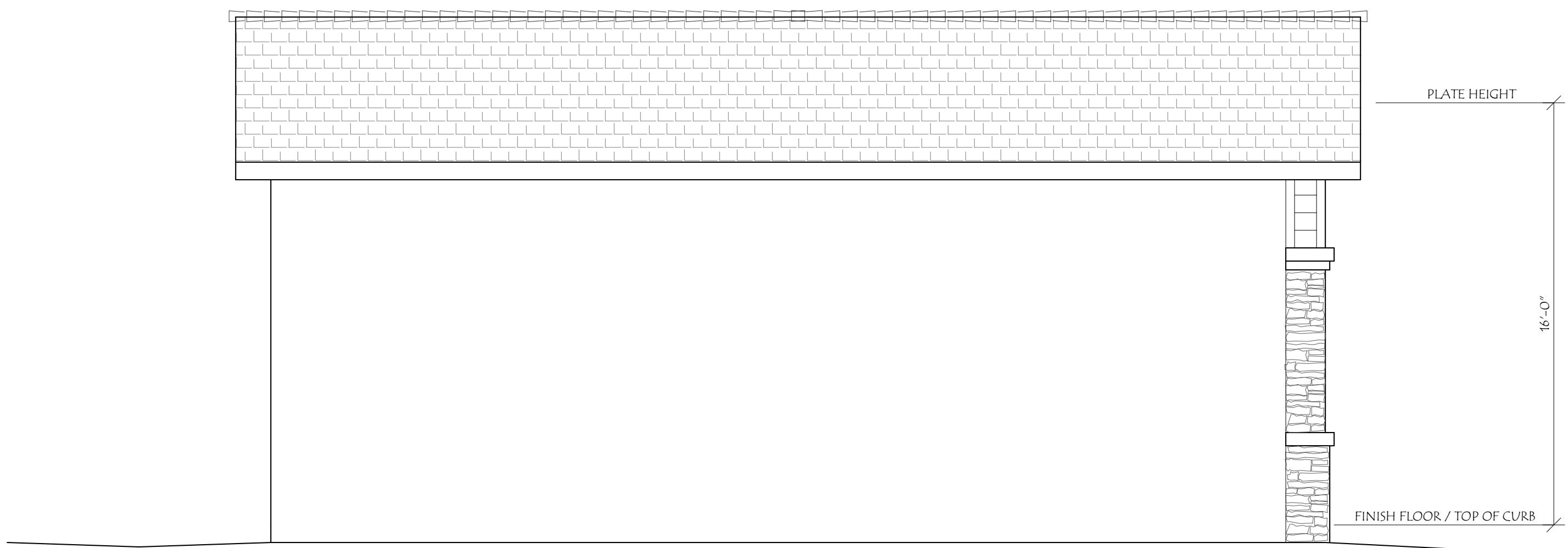
REAR ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



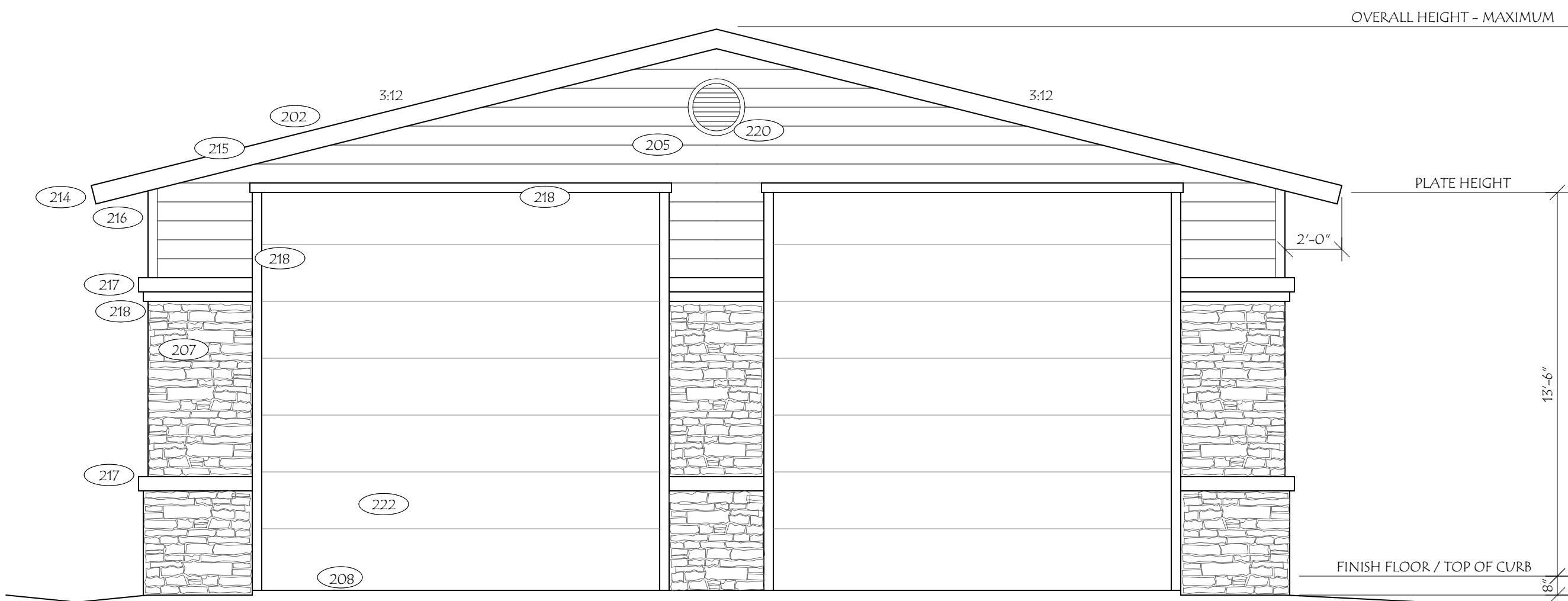
RIGHT SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



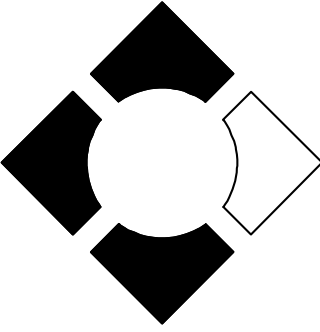
FRONT ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

DRAWINGS ISSUED FOR:

MICHAEL D. CARPENTER

CARPENTER



DESIGNS

BUILDING DESIGN SERVICES

3298 N. GLASSFORD HILL RD.
STE 104-152
PRESCOTT VALLEY, AZ. 86314

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PROJECT:

TENBERGE RV GARAGE

12795 ROSS AVE.
CHINO, CA. 91710

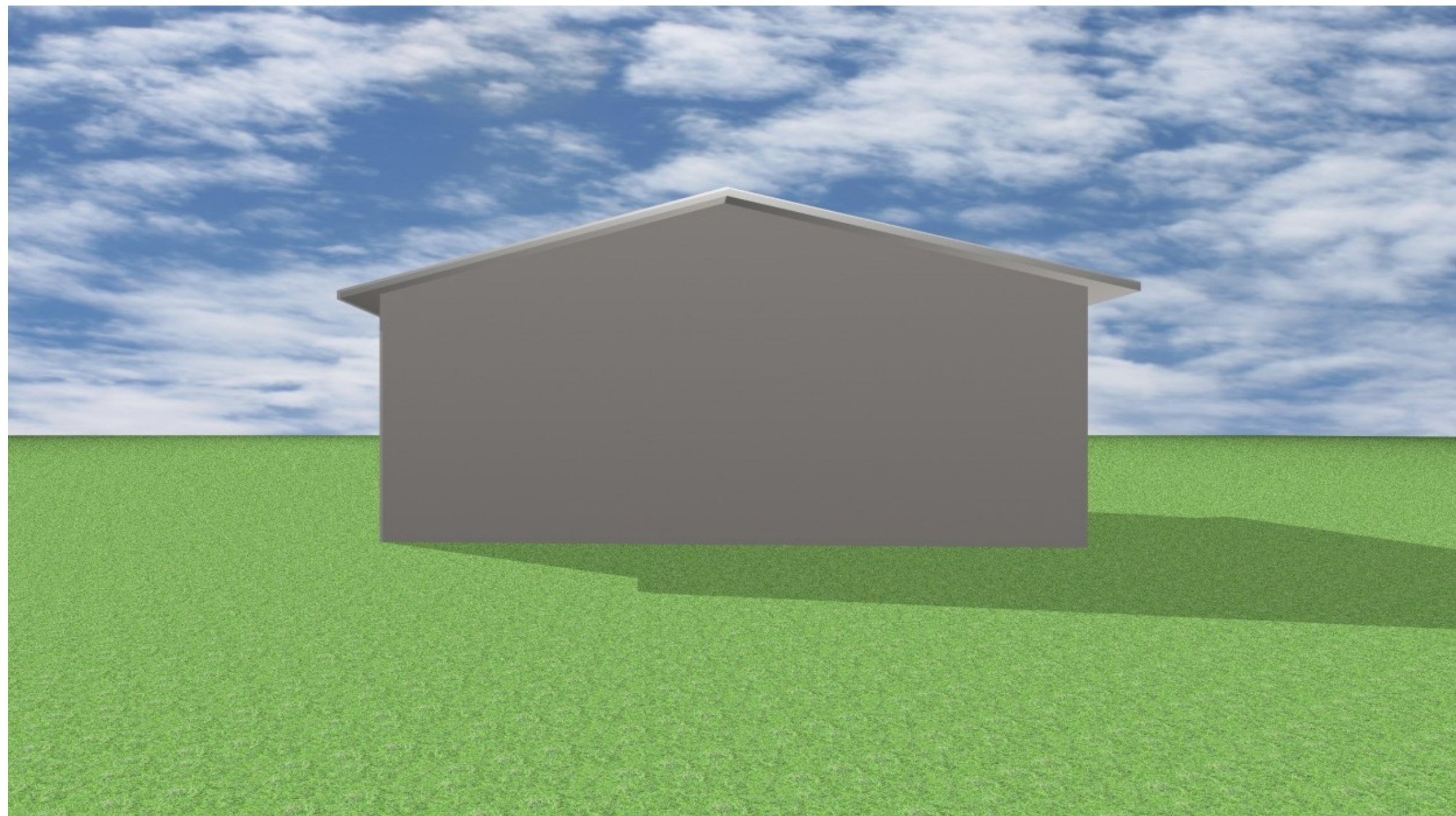
SHEET DESCRIPTION:

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

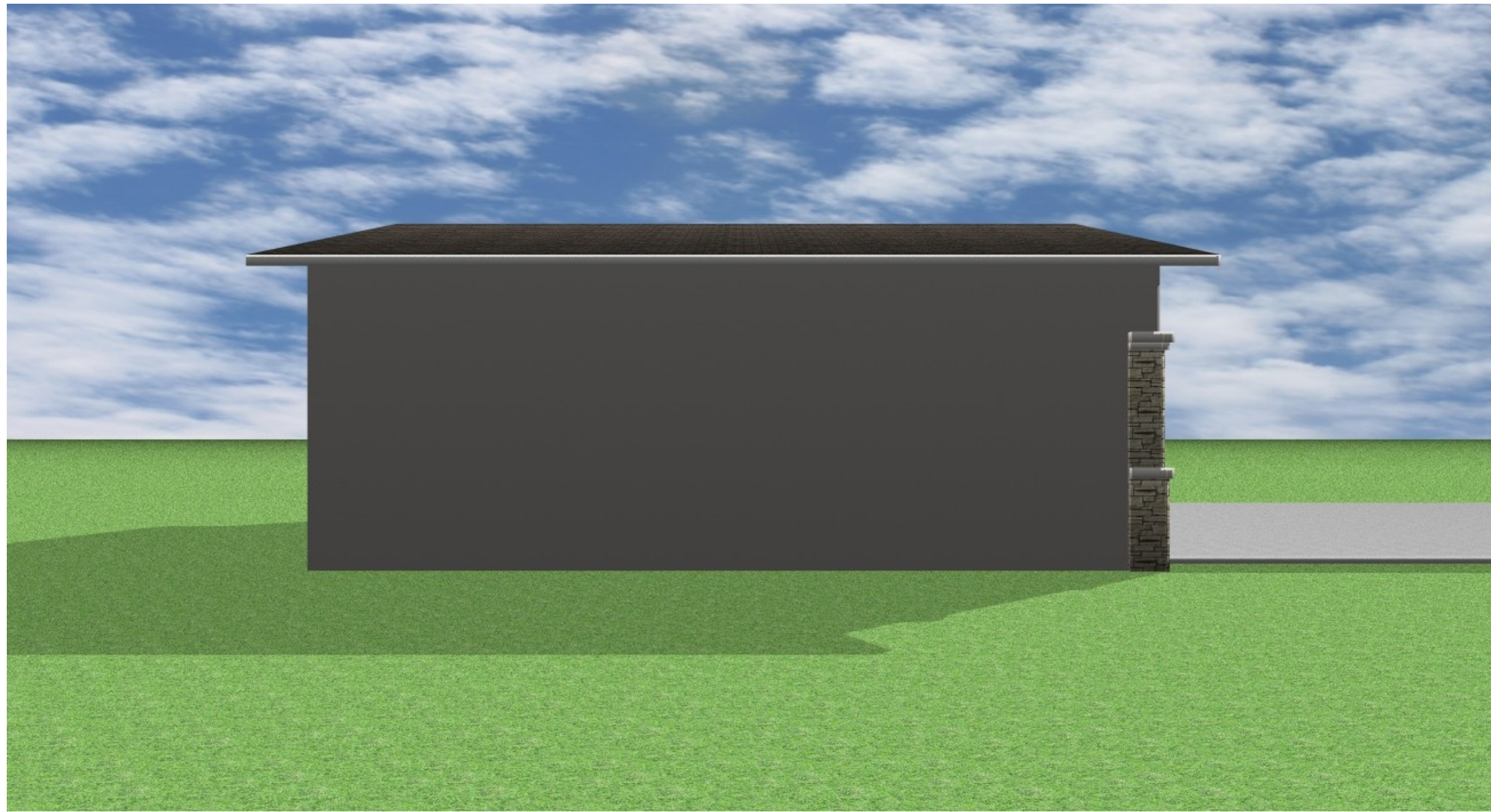
A 3



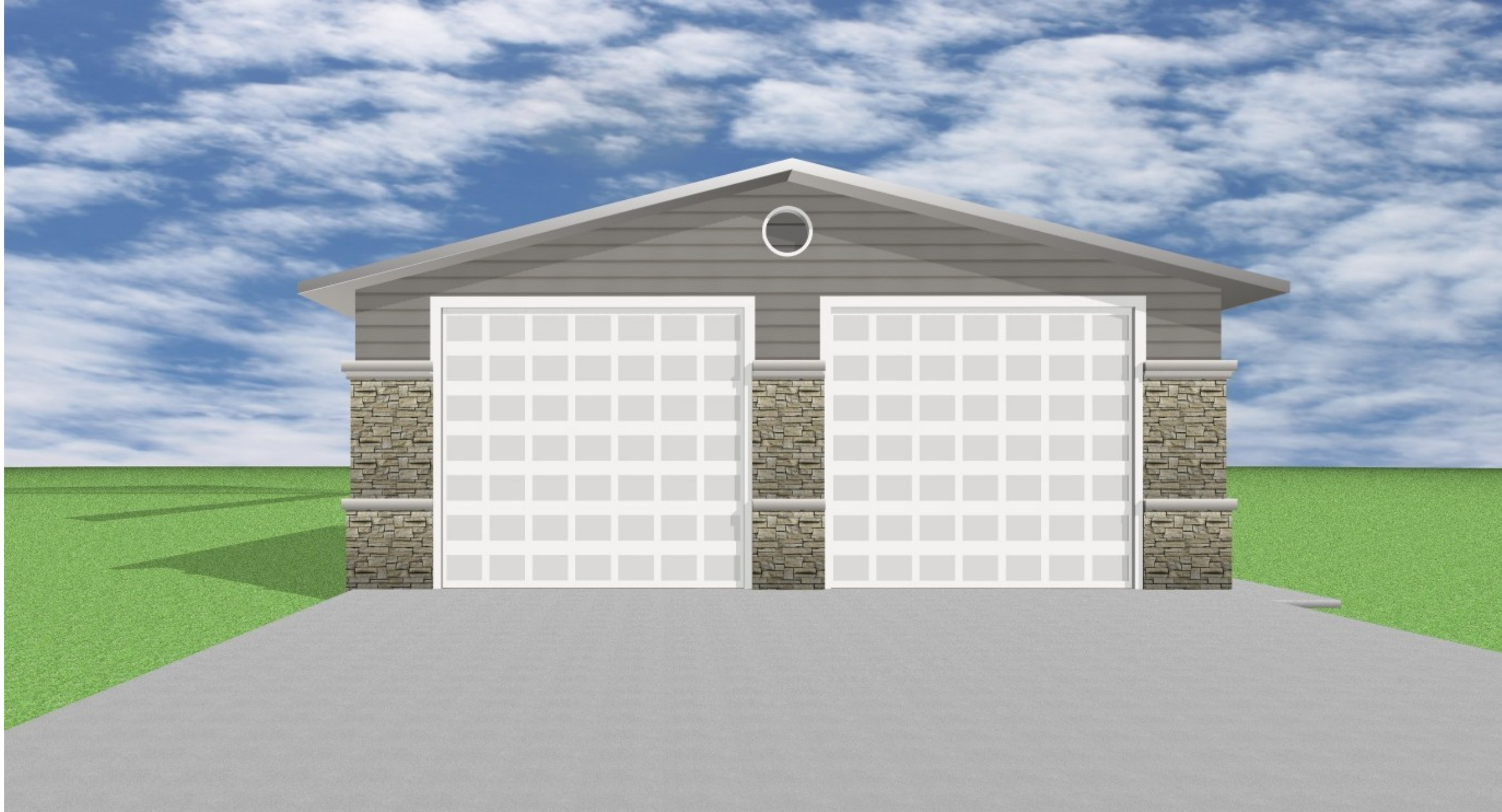
REAR ELEVATION (EAST)



RIGHT SIDE ELEVATION (SOUTH)



LEFT SIDE ELEVATION (NORTH)



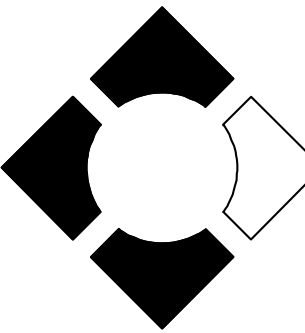
FRONT ELEVATION (WEST)

DRAWINGS ISSUED FOR:

Michael D. Carpenter

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PROJECT:

TENBERGE RV GARAGE

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SHEET DESCRIPTION:

EXTERIOR ELEVATIONS
COLORED

SCALE: 1/4" = 1'-0"

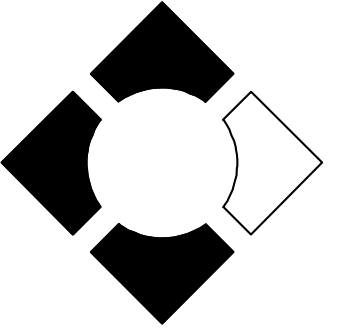
SHEET NUMBER:

A 4

Michael D. Carpenter

MICHAEL D. CARPENTER

CARPENTER



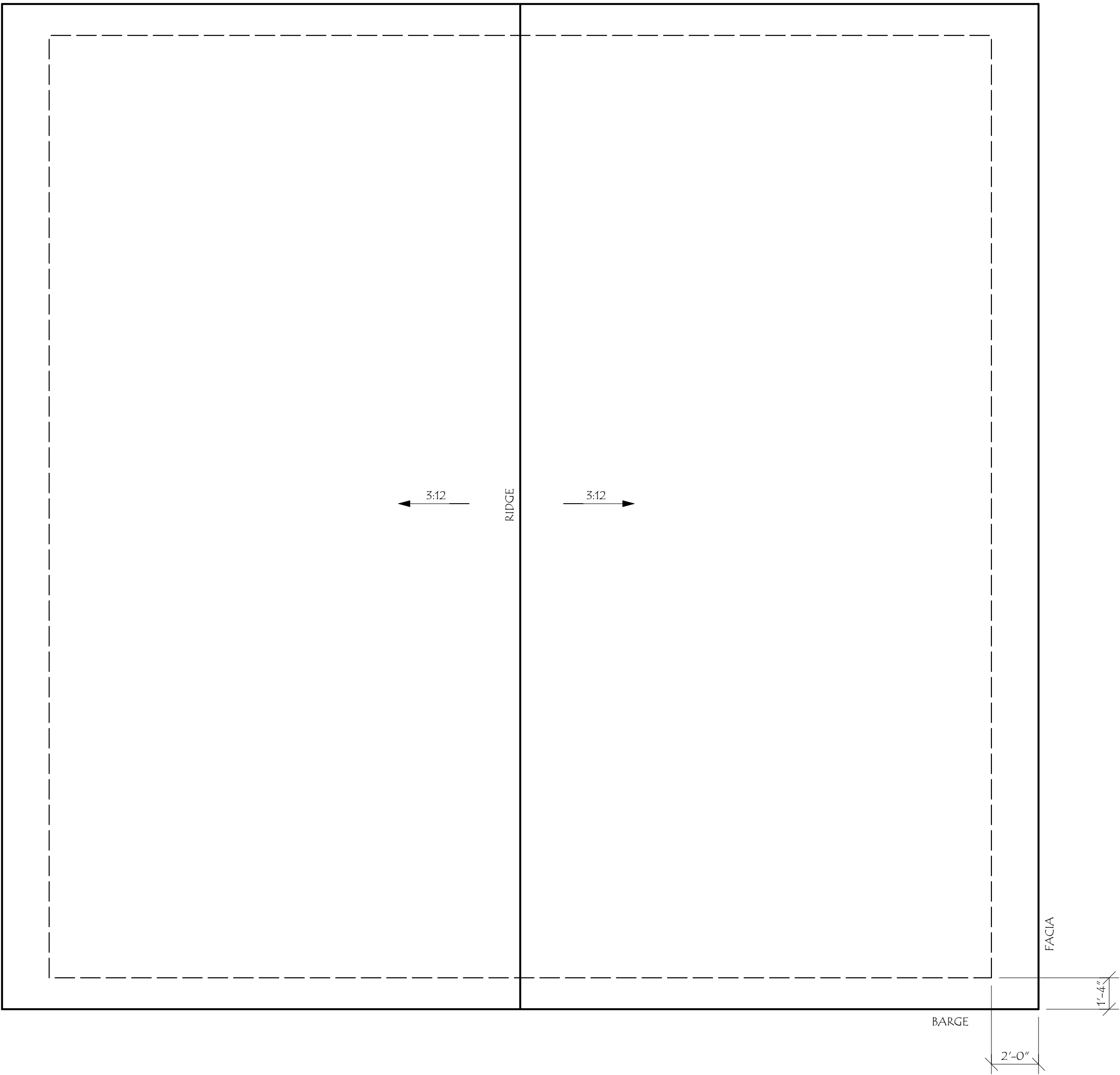
D E S I G N S

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- ROOF NOTES:
1. COMPOSITION SHINGLES (CLASS "A") OVER TWO LAYERS 15# FELT UNDERLAYMENT (MATCH EXISTING COLOR). GAF, TIBERLINE, ICC ESR - 1475
 2. FLASH AND COUNTER FLASH AT ROOF TO WALL CONDITIONS.
 3. INSTALL ROOFING PER MANUFACTURERS HIGH WIND SPECIFICATIONS
 4. PROVIDE DRIP EDGE METAL AT EAVE LINE.
 5. RADIANT BARRIER ROOF SHEATHING IS NOT REQUIRED.
 6. PROVIDE TWO LAYERS OF WEATHER BARRIER FOR ROOF PITCH LESS THAN 4:12

ROOF PLAN

SCALE: 1/4" = 1'-0"

PROJECT:

TENBERGE RV GARAGE

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SHEET DESCRIPTION:

ROOF PLAN

SCALE: 1/4" = 1'-0"

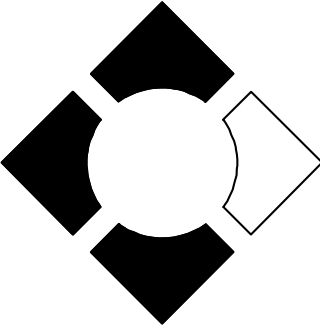
SHEET NUMBER:

A 5

Michael D. Carpenter

MICHAEL D. CARPENTER

CARPENTER



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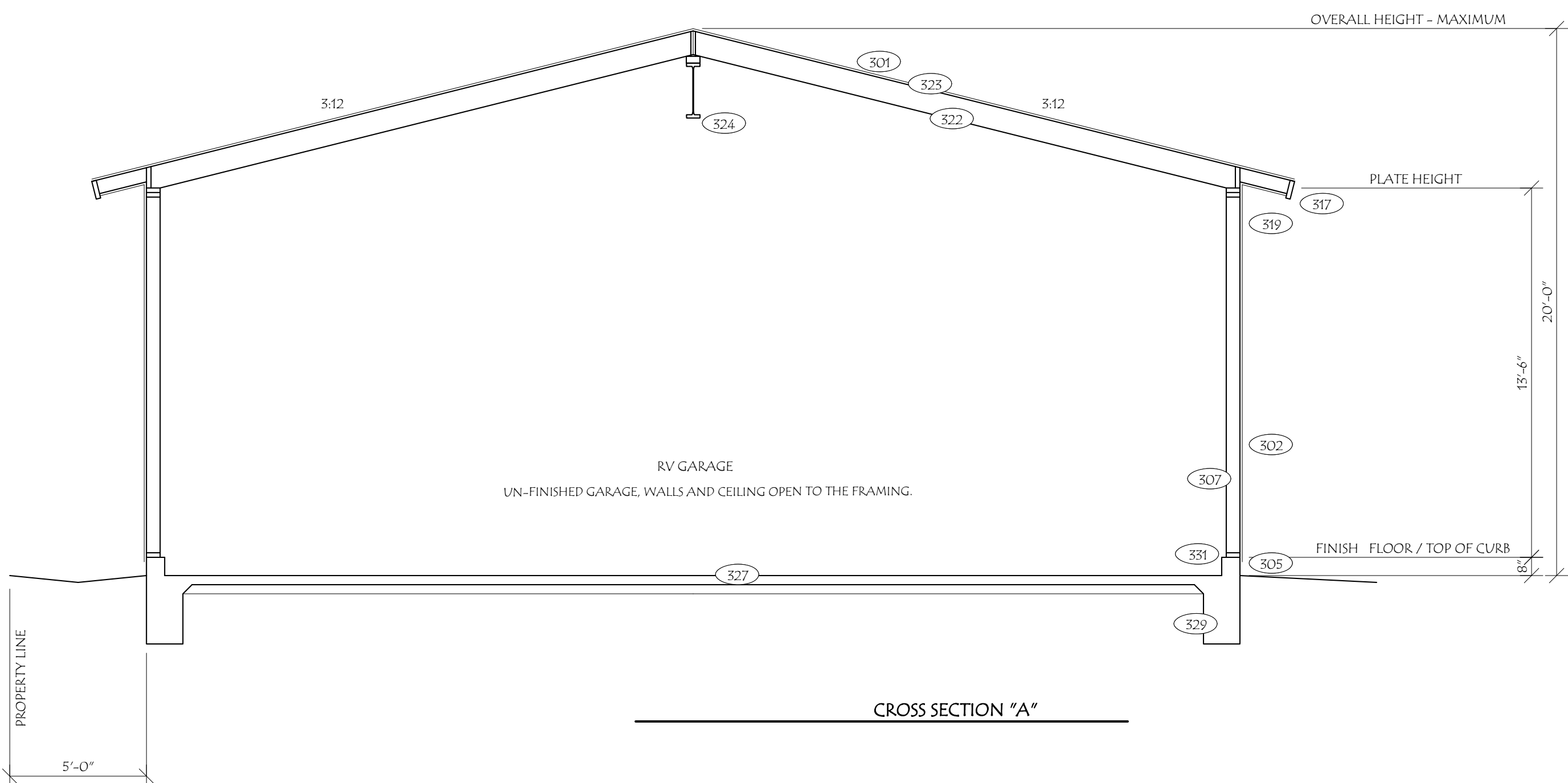
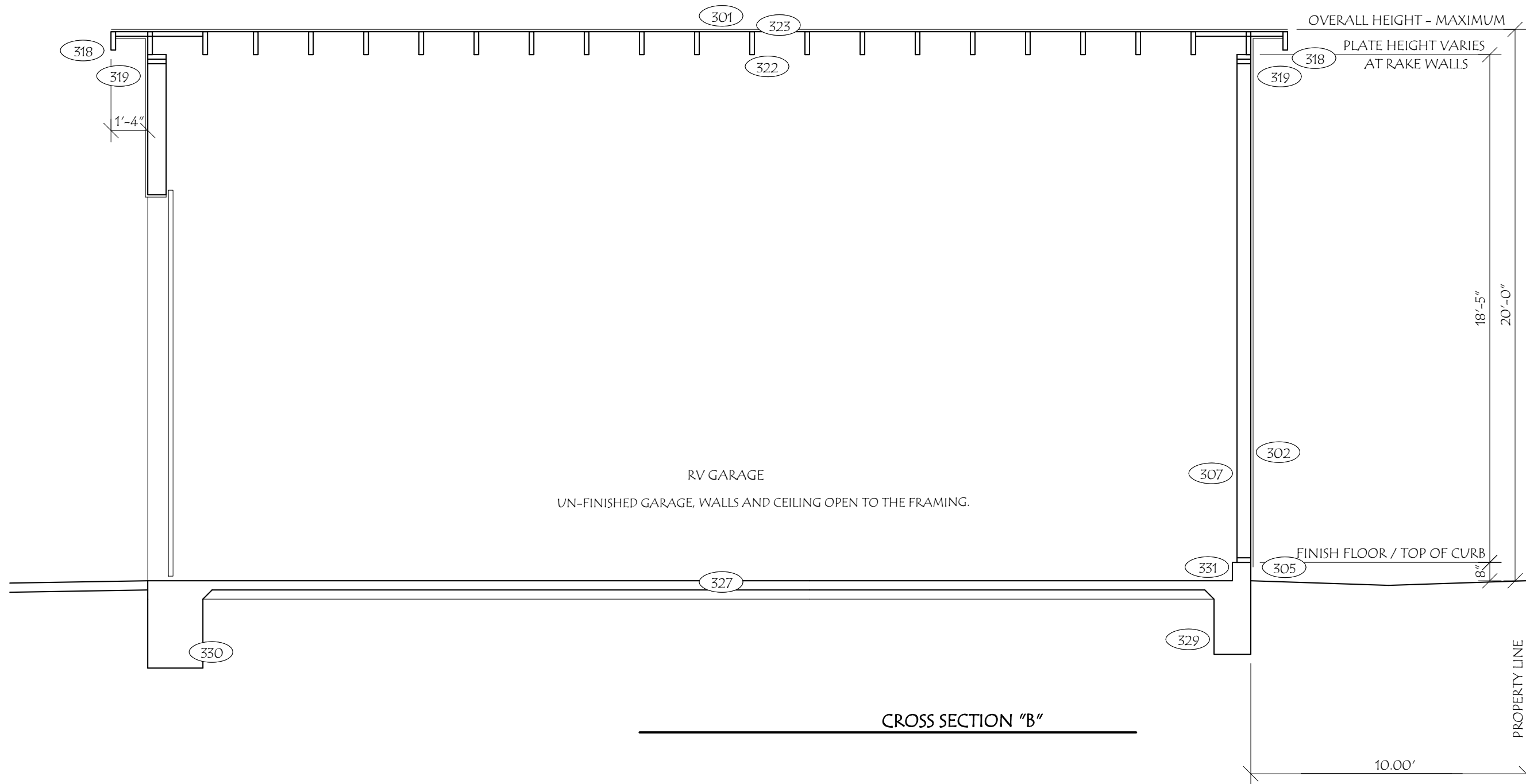
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CROSS SECTION KEY NOTES

301. NEW COMPOSITION SHINGLES (CLASS "A") OVER TWO LAYERS 15# FELT UNDERLAYMENT, MATCH EXISTING ROOFING
INSTALL PER MFG. HIGH WIND SPECIFICATIONS, GAF, TIBERLINE, ICC ESR - 1475
302. EXTERIOR WALL FINISH TO BE PLASTER, LIGHT TEXTURE
7/8" PLASTER OVER GRADE "D" MOISTURE BARRIER
(TWO LAYERS AT SHEAR PANELS)
303. NOT USED
304. NOT USED
305. 3 1/2" 26 GA. G.I. WEEP SCREED, MIN. 4" ABOVE EARTH OR 2" ABOVE PAVING
306. WINDOWS TO BE DUAL GLAZE, LOW "E"
307. EXTERIOR WALL, 2X6" STUDS AT 16" O.C.
308. NOT USED
309. NOT USED
310. NOT USED
312. NOT USED
313. NOT USED
314. CONCRETE STOOP/PAVING, MINIMUM 36" x WIDTH OF DOOR.
315. NOT USED
316. NOT USED
317. FACIA TO BE 2X8" RESAWN SPRUCE, SQUARE CUT, PAINT FINISH
318. BARGE TO BE 2X8" RESAWN SPRUCE, PAINT FINISH
319. EAVE SOFFIT TO BE 7/8" PLASTER.
320. EXPOSED METALS TO BE PAINT FINISHED, MATCH BACK GROUND COLOR.
321. NOT USED
322. 1 3/4" x 9 1/2" 2.0E MICROLAM LVL ROOF RAFTERS @ 16" OC
323. 5/8" ROOF SHEATHING
324. "W" BEAM PER PLAN
325. NOT USED
326. NEW 4" THICK MIN. CONCRETE SLAB WITH #4 REBAR AT 16" O.C. EACH WAY OVER
4" CLEAN SAND OVER 10 MIL. VISQUEEN VAPOR BARRIER OVER 2" CLEAN SAND
OVER CLEAN COMPACTED FILL. (TYPICAL)
327. 5" THICK MIN. CONCRETE SLAB WITH #4 REBAR AT 16" O.C. EACH WAY OVER
4" CLEAN SAND OVER 10 MIL. VISQUEEN VAPOR BARRIER OVER 2" CLEAN SAND
OVER CLEAN COMPACTED FILL. (TYPICAL)
328. 12" WIDE, 24" DEEP CONTINUOUS CONCRETE FOOTING WITH (2) # 4 REBAR TOP
& BOTTOM, TYPICAL.
329. 16" WIDE X 24" DEEP CONTINUOUS CONCRETE FOOTING WITH (2) # 4 REBAR TOP
AND BOTTOM.
330. GRADE BEAM, 24" WIDE, 30" THICK. 34" DEEP CONTINUOUS CONCRETE FOOTING,
34" LENGTH WITH (6) # 5 BAR T&B W/ # 4 STIRRUPS AT 12" O.C.
331. 8" CONCRETE CURB, FLUSH TO HOUSE FINISH FLOOR, TYPICAL
332. CONCRETE PEDESTAL, FLUSH TO FINISH FLOOR, TYPICAL
333. 30" X 30" X 16" PAD FOOTING W/ # 4 REBAR AT 12" O.C. EA. WY.
334. INTERIOR FOOTING, 12" WIDE x 18" DEEP CONTINUOUS CONCRETE FOOTING WITH
(2) # 4 REBAR TOP & BOTTOM, TYPICAL.



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SHEET DESCRIPTION:

CROSS SECTIONS

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A 6